



Committee of Adjustment Meeting

March 23, 2022

Electronic Meeting Only

6:00 p.m.

Agenda

Pursuant to the direction of Public Health Ontario, this public meeting will take place in an electronic format to maintain social/physical distancing. Consequently, the meeting is open to the public through electronic participation only. In-person attendance by the public will not be permitted. Members of the public may still view meeting web streams online live and following the meeting as archived on the City's website. Members of the public may submit written correspondence regarding an item on the agenda by 4:30 p.m. on the day of the Committee meeting for the Committee's consideration. Staff will e-mail the correspondence to all members of the Committee.

Members of the public may request to address Committee as a delegation through remote electronic access regarding an application on the agenda by submitting a written request to Tim Ryan at tryan@oshawa.ca a minimum of two business days prior to the meeting.

The City of Oshawa's Committee of Adjustment webpage (www.oshawa.ca/business-and-investment/committee-of-adjustment.asp) provides a list of upcoming Committee of Adjustment meetings, agendas and minutes, and a link to the live webstream player to enable easy access to view the meeting live.

Notice to Correspondents:

The personal information contained in your correspondence to the Oshawa Committee of Adjustment is collected under the Municipal Act, 2001. Any personal information you choose to disclose in your correspondence will be used to receive your views on relevant issue(s) to enable the City to make its decision on the matter. This information will become part of the public record.

For inquiries about this agenda, or to make arrangements for alternate formats or other accommodations, please call Tim Ryan at 905-436-3311, extension 2376 or at tryan@oshawa.ca no later than March 22, 2022.

Questions regarding the Committee of Adjustment may be directed to Tim Ryan at 905-436-3311, extension 2376 or at tryan@oshawa.ca.

Oshawa Committee of Adjustment

The Committee of Adjustment has five members appointed by Council and its responsibilities and conduct are governed primarily by Ontario's Planning Act, and related Regulations.

Below are the members of the Committee of Adjustment:

Robert Adams
Jerry Conlin
Fred Eismont
Andrew Johnson
Pralhad Uprety

The Committee of Adjustment primarily considers all minor variances to the provisions of Zoning By-law 60-94, as amended, and extensions, enlargements or variations to existing legal non-conforming uses.

Committee of Adjustment meetings are held at 6:00 p.m. on the following dates in 2022:

January 26, 2022
February 9, 2022 and February 23, 2022
March 9, 2022 and March 23, 2022
April 13, 2022 and April 27, 2022
May 11, 2022 and May 25, 2022
June 8, 2022 and June 22, 2022
July 13, 2022 and July 27, 2022
August 10, 2022 and August 24, 2022
September 14, 2022 and September 28, 2022
October 13, 2022 and October 26, 2022
November 9, 2022 and November 23, 2022
December 14, 2022

You or your agent are invited to provide written comments regarding any application to the Secretary-Treasurer of the Committee of Adjustment and/or attend the public hearing to express your comments.

Please Note

Video recording and photography during Committee meetings is permitted in the area designated in the Committee Meeting Room and Council Chamber.

All who attend meetings electronically in the Council Chamber and Committee Room do so voluntarily and as a result of their attendance at these meetings may be photographed/videotaped.

Committee of Adjustment

March 23, 2022

A-2022-01 399 King Street West

Tran Dieu & Associates Inc. on behalf of 10692697 Canada Inc.

To permit a mixed-use building with a restaurant and flat with reduced parking, parking aisle width, distance of a parking area to a street line and driveway width

A-2022-25 103 Ritson Road South

Daniel Allan on behalf of Ian Szabo and Tanya Williams

To permit a 3-unit apartment building with reduced lot frontage, length of front lot line, exterior side yard depth, interior side yard depth, rear yard depth, landscaped open space and distance of parking area to street line, and increased lot coverage and encroachment of a bay window

A-2022-27 4953 Thornton Road North

William Murray

To permit an addition to an existing single detached dwelling with reduced front yard depth

A-2022-28 218 Bloor Street East

Israel Ufomadu on behalf of Oluwafunmilola Okenla and Olufemi Ajayi

To permit a restaurant (catering business) with reduced parking, parking aisle width and driveway width

A-2022-29 296 Richmond Street East

Martin Topolie on behalf of Eunice Masterson

To permit an accessory building (detached garage) with increased lot coverage and ground floor area

A-2022-30 620 Taunton Road West

IBI Group on behalf of 620 Taunton Self Storage Developments Ltd.

To permit self-serve storage buildings with reduced parking

A-2022-31 569 Berwick Crescent

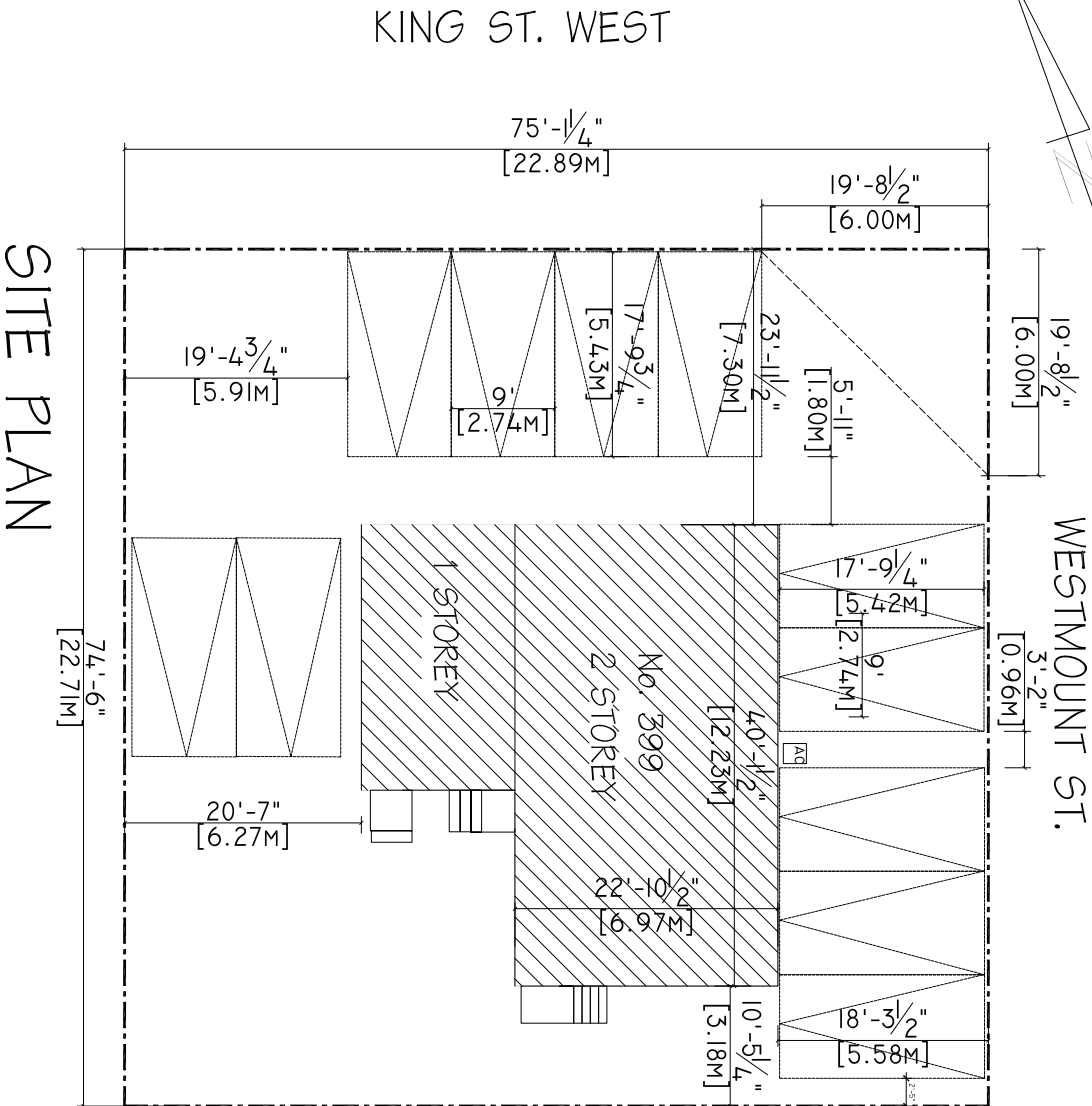
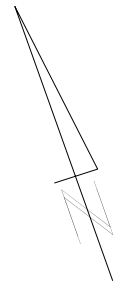
Michael Mendez

To permit a semi-detached dwelling with an accessory apartment with reduced lot frontage and landscaped open space in the front yard

If you wish a copy of the Decision and/or Notices of future Committee of Adjustment meetings concerning an application listed above, email the Secretary-Treasurer at cchase@oshawa.ca. Thank you.

Address: 399 King Street West

City of Oshawa
Development Services Department



WESTMOUNT ST.
3'-2" [0.96M]

KING ST. WEST

SITE PLAN

GENERAL CONDITIONS:

OWNER, CONTRACTOR, ENGINEER AND ARCHITECT HEREBY ACCEPT ALL RESPONSIBILITIES IN THIS AGREEMENT AND ASSOCIATED THEREWITH. THE ARCHITECT, ENGINEER AND CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

LOT AREA=5593.39 SQ.FT (519.83 SQ.METER)
BUILDING AREA=1225 SQ.FT (113.84 SQ.METER)
GROUND FL. GFA=1225 SQ.FT (113.84 SQ.METER)
BASEMENT (113.84 SQ.METER)-510 STORAGE
2ND (RESIDENTIAL) GFA=910 SQ.FT (84.6 SQ.METER)
(1 RESIDENTIAL UNIT)

EXISTING PARKING SPACE=11 SPACES PROVIDED
PROPOSED RESTAURANT REQUIRED=10 PARKING SPACES.
EXISTING 2ND FLOOR RESIDENTIAL REQUIRED=1 PARKING
TOTAL PARKING SPACES REQUIRED=11 PARKING SPACES

STATUS:	REQUIRED
FOR FURTHER APPLICATION:	
<p>PROJECT: COCO BUBBLE TEA INTERIOR ALTERATION (TAKE OUT) 399 KING STREET WEST, OSHAWA</p> <p>DESIGN BY: [Redacted] DRAWN BY: [Redacted] CHECKED BY: [Redacted] SCALE: N/A PROJECT: [Redacted]</p>	
TITLE:	AI



Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on March 23, 2022 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2022-25**) submitted by **Daniel Allan on behalf of Ian Szabo and Tanya Williams** for **103 Ritson Road South** (Plan 335, Sheet 15, Pt Lt C10), Oshawa for minor variances from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit a 3-unit apartment building with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for an apartment building in a R5-B (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Lot Frontage	12.1m	25m
Minimum Length of the Front Lot Line	12.1m	12.5m
Minimum Exterior Side Yard Depth	1.5m	3m
Minimum Interior Side Yard Depth	2.8m	3m
Minimum Rear Yard Depth	14.4m	16m
Maximum Lot Coverage	27%	22%
Minimum Landscaped Open Space	44%	35%
Minimum Distance of a Parking Area to the Gliddon Avenue Street Line	0m	3m
Maximum Permitted Encroachment of a Bay Window in the Exterior Side Yard	0.9m	0.6m

You have been sent this notice because you own land close to the subject property.

Meeting

Pursuant to the direction of Public Health Ontario, this public meeting will take place in an electronic format to maintain social/physical distancing. Consequently, the meeting is open to the public through electronic participation only, and in-person delegations are not possible at this time. Members of the public are invited to submit correspondence concerning this matter. Please address your comments to the City Contact shown below by 4:30 p.m. on March 23, 2022 in order for your correspondence to be provided to Committee members for the March 23, 2022 public meeting.

Members of the public may request to verbally address the Committee as a delegation through remote electronic access regarding an application on the agenda by submitting a written request to the City Contact shown below by 4:30 p.m. on March 21, 2022.

The City of Oshawa's Committee of Adjustment webpage (<https://www.oshawa.ca/business-and-investment/committee-of-adjustment.asp>) provides a list of upcoming Committee of Adjustment meetings and agendas, and a link to the live webstream player to enable easy access to view the meeting live.

City Contact: Tim Ryan, Oshawa City Hall, 50 Centre Street South, Oshawa, Ontario L1H 3Z7 or by telephone at 905-436-3311, extension 2376 or by email to tryan@oshawa.ca.

How to submit written comments: Written comments to the Committee must be received no later than 4:30 pm on March 23, 2022. Submissions are accepted by email at tryan@oshawa.ca or by mailing the Committee of Adjustment at the address shown above. Please include your name, your address and application number or address of the property you are providing comments on.

To Obtain Additional information: For more information, contact the City Contact as shown above between 8:30 am and 4:30 pm Monday to Friday.

To Access the Report: A copy of the staff report is available by contacting the City Contact as shown above, after 3:00 pm, on March 18, 2022 or any day thereafter.

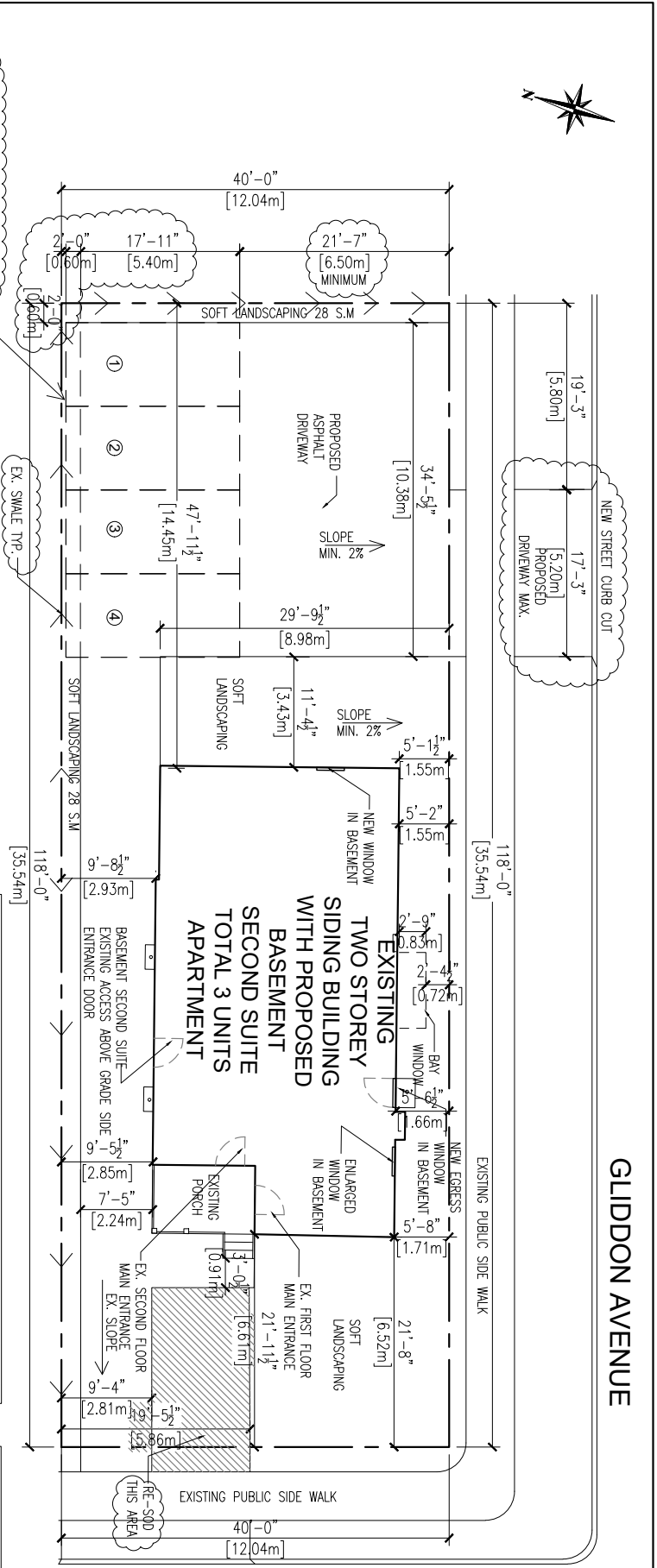
Accessibility: The City of Oshawa is committed to providing services as set out in the Accessibility for Ontarians with Disabilities Act, 2005. If you have accessibility needs and require alternate formats or other accommodations please contact the City Contact as shown above no later than March 22, 2022. Advance requests are highly encouraged to enable us to meet your needs adequately.

Freedom of Information and Protection of Privacy Act: Information will be collected in accordance with the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record.

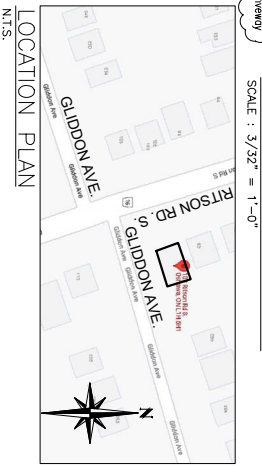
This Notice issued March 11, 2022.

Address: 103 Ritson Road

City of Oshawa
Development Services Department



103 RITSON ROAD SOUTH



SITE STATISTIC

LOT AREA	= 427.94 S.M (0.04529 HEK.)
EX. BUILDING FOOTPRINT	= 115.2 S.M
PROPOSED BASEMENT APARTMENT	= 83.4 S.M
PARKING	= 4
PROPOSED APARTMENT UNITS	= 110.8 S.M
EXISTING FIRST FLOOR AREA	= 91.7 S.M
EXISTING SECOND FLOOR AREA	= 140.0 S.M (44.7%)
DENSITY	= 66
LANDSCAPING OPEN SPACE COVERAGE	= 26.9%
MAXIMUM COVERAGE	= 66
MAXIMUM HEIGHT	= 8.69m



No.	18-02-2022	1	CITY REVISION
No.	22-02-2022	2	CLIENT REVISION
No.		3	
No.		4	
No.		5	
No.		6	
No.		7	

DEFAULT SHEET SIZE : 11x17

SPECIAL NOTES:

CONFORM TO REQUIREMENTS OF THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. OWNER, BUILDER/CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT, ENGINEER BY PHONE AND SUBSEQUENT TO THE WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK. THESE DRAWINGS MUST NOT BE SCALED. THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF THE DITC/CLINE INT. AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE DITC/CLINE INT. WRITTEN AUTHORITY.

Client Name & Address:
103 RITSON ROAD SOUTH
OSHAWA, ON

Project Address/Name:
103 RITSON ROAD SOUTH
OSHAWA, ON

Project Description:
PROPOSED SUITE & UNDERPINNING

Sheet Title:
PROPOSED SITE PLAN

Date: 17.09.2021

Scale: As shown

Drawn By: DA

Client ID: 1093

Question No.: DQ2021-686

Project No.: DP2022-2227

Drawing No.: A1.1

Contractor By:
DITC/CLINE INTERNATIONAL
1009-66 Morko Avenue
Brampton, ON
Canada, L6Y 4V9
TEL: 647.968.3388
Home Design Inc.
Email: ditcline@gmail.com
Website: www.ditcline.com



Notice of Hearing under the Planning Act Concerning an Application for a Minor Variance

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on March 23, 2022 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2022-27**) submitted by **William Murray** for **4953 Thornton Road North** (Con 9, Pt Lt 16 and 40R-5546, Pt 2), Oshawa, for a minor variance from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit an addition to an existing single detached dwelling resulting in a minimum front yard depth of 12m, whereas Zoning By-law 60-94 requires a minimum front yard depth of 15m for a single detached dwelling in the AG-ORM (Oak Ridges Moraine Agricultural) and OS-ORM (Oak Ridges Moraine Open Space) Zones.

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Meeting

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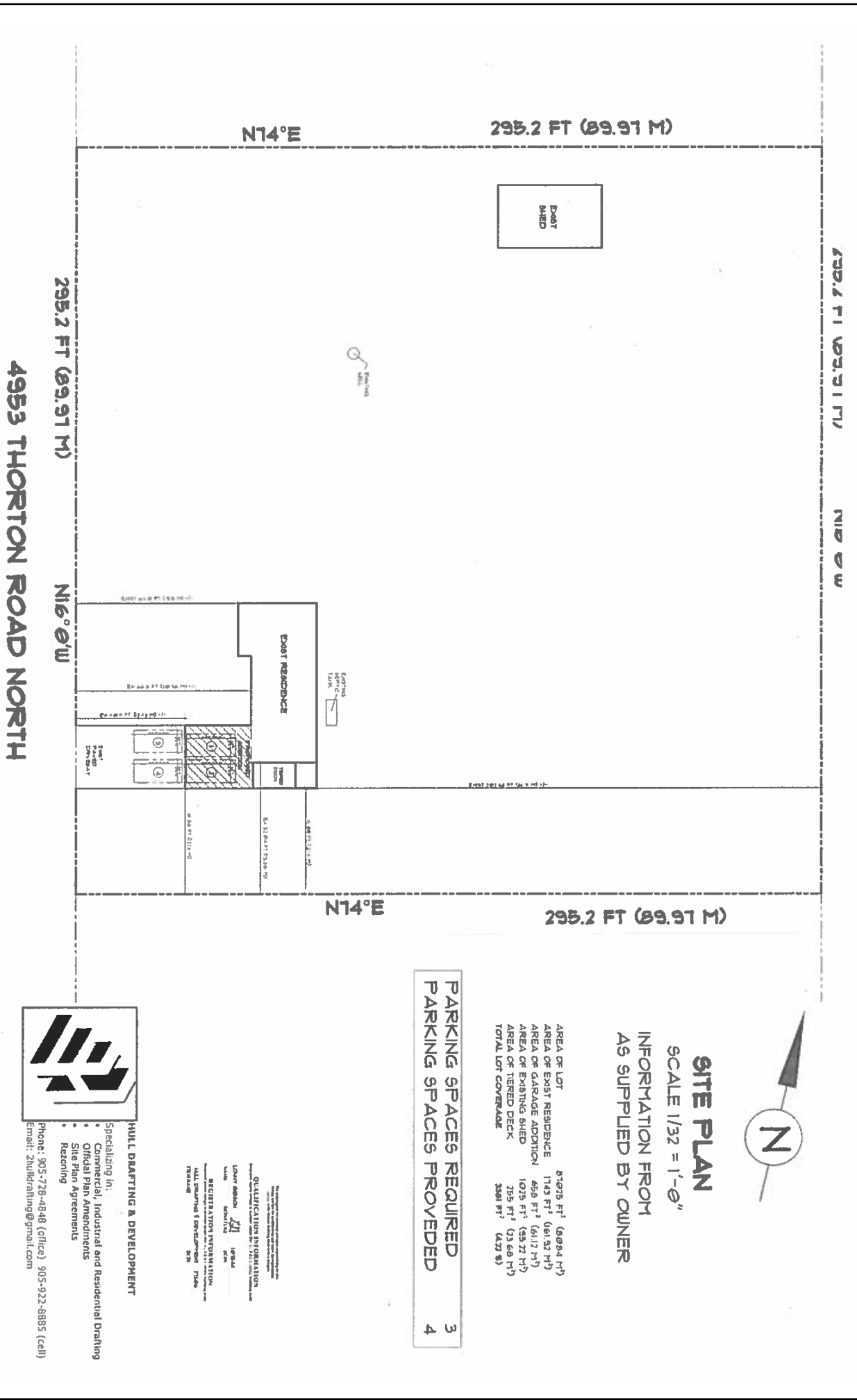
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Freedom of Information and Protection of Privacy Act: Information will be collected in accordance with the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record.

This Notice issued March 11, 2022.

Address: 4953 Thornton Road North

City of Oshawa
Development Services Department





Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on March 23, 2022 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2022-28**) submitted by **Israel Ufomadu on behalf of Oluwafunmilola Okenla and Olufemi Ajayi** for **218 Bloor Street East** (PL 148, Pt Lts 434 and 435, RP 40R-24506, Pts 4 and 7), Oshawa, for minor variances from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit a restaurant (catering business) with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a restaurant in a PSC-A (Planned Strip Commercial) Zone.

Zoning Item	Column 1	Column 2
Minimum Number of Parking Spaces	7	9
Minimum Parking Aisle Width	3m	6.5m
Minimum Driveway Width	2m	3m

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This Notice issued March 11, 2022.

Address: 218 Bloor Street East

City of Oshawa
Development Services Department

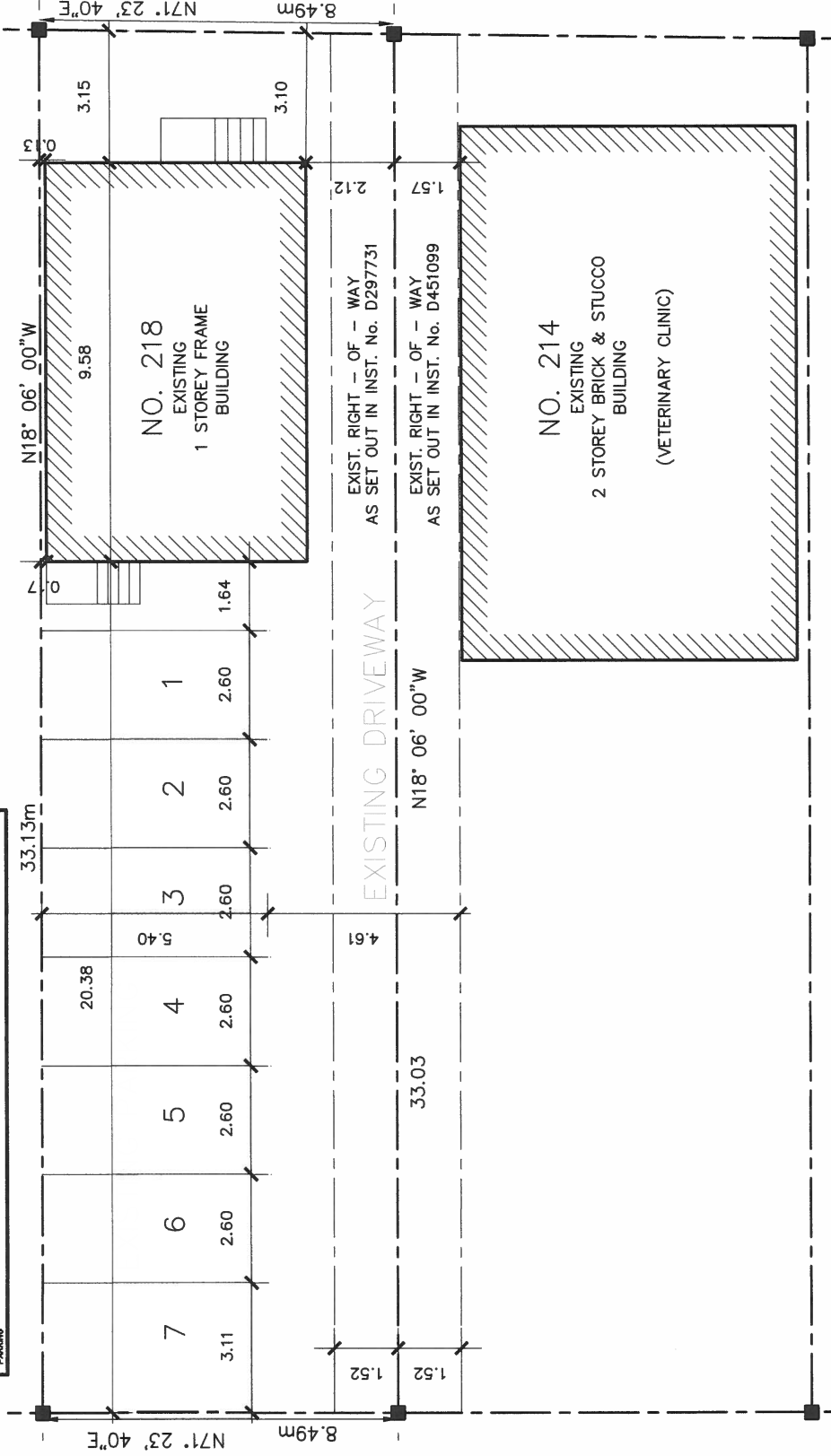


Design Construction Project Management
127 Darren Ave. Whitby ON L3R 0E7
127 Darren Ave. Whitby ON L3R 0E7

DESIGN DETAIL
REVISIONS
SCALE
DATE
PROJECT: PROP. INTERIOR FIT-UP
DRAWN: [Signature]
DATE: 03/02/22
DRG. #: A-1

PROJECT: PROP. INTERIOR FIT-UP
DRAWING TITLE: 218 BLOOR STREET EAST
DRAWN: [Signature]
DATE: [Signature]

BLOOR STREET EAST



SKETCH OF SURVEY
PLAN OF LOT 434 PART 6 & 7,
LOT 435 PART 4 & 5
REGISTERED PLAN No. 148
CITY OF OSHAWA
REGIONAL MUNICIPALITY OF DURHAM

DEVELOPMENT SERVICES

MAR 02 2022

RECEIVED

ZONE	PRO-A	LOT NO.	PLAN NO.	LOT AREA	LOT AREA
DESCRIPTION	EXISTING	ADDITION	TOTAL	ALLOWED	%
LOT COVERAGE	87.57 S.F. (81.00)	0	87.57 S.F. (81.00)	80.00	92.08
AREA FLOOR AREA	119.39 S.F. (112.30)	0	119.39 S.F. (112.30)	100.00	84.56
NO. OF STORES	1 STOREY	0 STOREY	1 STOREY	1 STOREY	
HEIGHT	20'-3 1/2" (6.24)	0'-0" (0.00)	20'-3 1/2" (6.24)	20'-3 1/2" (6.24)	
DEPTH	31'-5" (9.58)	0'-0" (0.00)	31'-5" (9.58)	31'-5" (9.58)	
PARKING	7	0	7	7	
REQUIRED PARKING	(TOTAL BUILDING GF+A/F1) = 104.25/11 = 10				



Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on March 23, 2022 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2022-29**) submitted by **Martin Topolie on behalf of Eunice Masterson** for **296 Richmond Street East** (PL 197, Pt Lt 18), Oshawa, for minor variances from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit an accessory building (detached garage) ancillary to a single detached dwelling with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for an accessory building ancillary to a single detached dwelling in a R1-E (Residential) Zone.

Zoning Item	Column 1	Column 2
Maximum Lot Coverage as a Percentage of the Main Building	104%	50%
Maximum Lot Coverage as a Percentage of the Lot Area	13.5%	8%
Maximum Ground Floor Area for All Accessory Buildings	67m ²	60m ²

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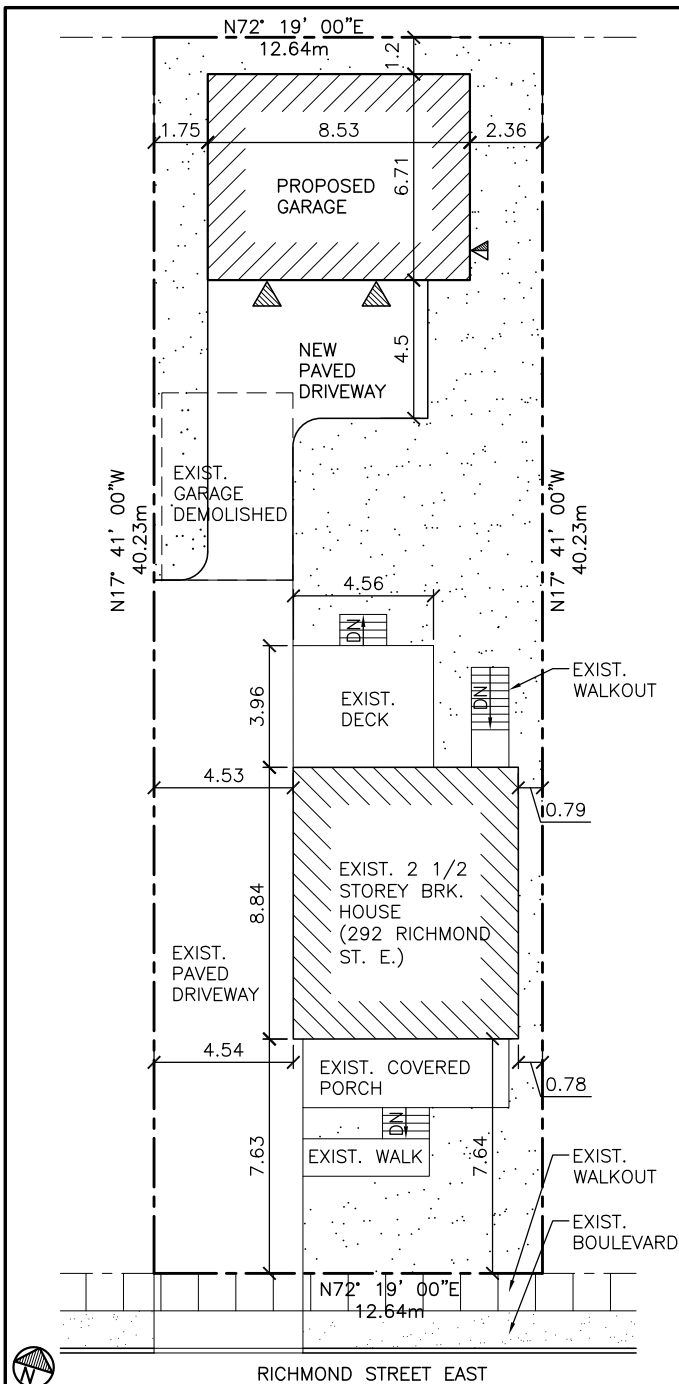
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This Notice issued March 11, 2022.

Address: 296 Richmond Street East

City of Oshawa
Development Services Department



SURVEY NOTE:

SURVEY INFORMATION TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT, PART 2-REPORT SUMMARY, PART OF LOT 18, REG. PLAN No.197, KNOWN AS 296 RICHMOND STREET EAST, CITY OF OSHAWA, REGIONAL MUNICIPALITY OF DURHAM

BY: H. FILM LTD.
ONTARIO LAND SURVEYOR
WORK ORDER: 13869
JULY 26, 1991

SITE DATA:

SITE AREA:	508.68m ² (5,475.36ft ²)
EXISTING HOUSE & PORCH AREA:	79.76m ² (858.52ft ²)
% COVERAGE:	15.68%
EXISTING DECK AREA:	18.06m ² (194.4ft ²)
% COVERAGE:	3.55%
TOTAL EXIST. BLDG. AREA:	97.82m ² (1,052.92ft ²)
% COVERAGE:	19.23%
PROPOSED GARAGE:	57.23m ² (616.0ft ²)
% COVERAGE:	11.25%
TOTAL PROPOSED BLDG. AREA:	155.05m ² (1,668.92ft ²)
% COVERAGE:	30.40%
PAVED AREA:	151.84m ² (1,634.37ft ²)
% COVERAGE:	29.85%
LANDSCAPE AREA:	201.79m ² (2,172.05ft ²)
% COVERAGE:	39.67%

GENERAL NOTES:

- ALL WORK TO CONFORM TO THE ONTARIO BUILDING CODE, LATEST REVISION, LOCAL CODES, AND BY-LAWS.
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA UNLESS KNOWN CAPACITY IS LESS AND PROVIDED FOR IN THE DESIGN.
- STEP FOOTINGS: MAX. RISE 600MM FOR FIRM SOIL, 400MM FOR SAND OR GRAVEL. MIN. RUN 600MM.
- FOUNDATION WALLS SHALL BE ADEQUATELY BRACED PRIOR TO BACKFILLING.
- CONCRETE FOR GARAGE SLABS, PORCHES AND EXTERIOR STEPS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25MPA AND 5% TO 8% AIR ENTRAINMENT.
- CONVENTIONAL ROOF FRAMING TO CONFORM TO DWG NO.2 G02 TACBOC AS FOLLOWS:
2"x4" to max. 8'-1" @ 16" o.c.
2"x6" to max. 12'-9" @ 16" o.c.
2"x8" to max. 16'-9" @ 16" o.c.
2"x10" to max. 21'-4" @ 16" o.c.
- GLASS IN WINDOWS SHALL BE DESIGNED IN CONFORMANCE WITH CAN/CGSB-12.20-M "STRUCTURAL DESIGN OF GLASS FOR BUILDINGS".
- FOAMED INSULATION SHALL BE PROTECTED ON INTERIOR SURFACES BY GYPSUM BOARD OR EQUIVALENT.
- SURFACE DRAINAGE SHALL NOT ACCUMULATE NEAR THE BUILDING OR AFFECT ADJACENT PROPERTIES.
- ROOF VENTS: 1SQ.FT./300 SQ.FT. OF INSULATED ATTIC SPACE. FOR CATHEDRAL CEILINGS OR FOR ROOF SLOPES LESS THAN 1 IN 6: 1SQ.FT./150 SQ.FT. OF INSULATED CEILING AREA, AND UNIFORMLY DISTRIBUTED TO VENTILATE EACH ROOF SPACE.
- EAVE PROTECTION: REQUIRED FROM EDGE OF THE ROOF A MINIMUM DISTANCE 300MM UP THE ROOF SLOPE TO NOT LESS THAN 300MM INSIDE THE INNER FACE OF THE EXTERIOR WALL ON SHINGLED, SHAKE OR TILE ROOFS. EAVE PROTECTION SHALL BE LAID BENEATH THE START STRIP.
- ALL SUBCONTRACTORS TO BE RESPONSIBLE FOR CLEAN UP OF WORK CARRIED OUT BY THAT TRADE AND TO PATCH AND MAKE GOOD WORK BY OTHER TRADES AFFECTED BY THEIR WORK.

No.	NOTES	DATE	SCALE:	PROJECT NAME:	ARCHITECT'S PROJECT No:
			1:200		0094
			DATE: FEB. 2022		
			DRAWN BY: RB	DRAWING TITLE:	DRAWING No:
			CHECKED BY: MT	SITE PLAN & NOTES	A-1



Notice of Hearing under the Planning Act Concerning an Application for a Minor Variance

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on March 23, 2022 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2022-30**) submitted by **IBI Group on behalf of 620 Taunton Self Storage Developments Ltd.** for **620 Taunton Road West** (Plan 357, Sheet 15E, Lt 3), Oshawa, for a minor variance from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit self-serve storage buildings with a minimum of 37 parking spaces, whereas Zoning By-law 60-94 requires a minimum of 39 parking spaces for self-serve storage buildings in a SI-A(11) "h-39"/SI-A(14) "h-60"/SI-A(19) "h-66" (Select Industrial) Zone.

The subject site is also subject to an application for Site Plan Approval (File SPA-2020-16).

You have been sent this notice because you own land close to the subject property.

Meeting

Pursuant to the direction of Public Health Ontario, this public meeting will take place in an electronic format to maintain social/physical distancing. Consequently, the meeting is open to the public through electronic participation only, and in-person delegations are not possible at this time. Members of the public are invited to submit correspondence concerning this matter. Please address your comments to the City Contact shown below by 4:30 p.m. on March 23, 2022 in order for your correspondence to be provided to Committee members for the March 23, 2022 public meeting.

Members of the public may request to verbally address the Committee as a delegation through remote electronic access regarding an application on the agenda by submitting a written request to the City Contact shown below by 4:30 p.m. on March 21, 2022.

The City of Oshawa's Committee of Adjustment webpage (<https://www.oshawa.ca/business-and-investment/committee-of-adjustment.asp>) provides a list of upcoming Committee of Adjustment meetings and agendas, and a link to the live webstream player to enable easy access to view the meeting live.

City Contact: Tim Ryan, Oshawa City Hall, 50 Centre Street South, Oshawa, Ontario L1H 3Z7 or by telephone at 905-436-3311, extension 2376 or by email to tryan@oshawa.ca.

How to submit written comments: Written comments to the Committee must be received no later than 4:30 pm on March 23, 2022. Submissions are accepted by email at tryan@oshawa.ca or by mailing the Committee of Adjustment at the address shown above. Please include your name, your address and application number or address of the property you are providing comments on.

To Obtain Additional information: For more information, contact the City Contact as shown above between 8:30 am and 4:30 pm Monday to Friday.

To Access the Report: A copy of the staff report is available by contacting the City Contact as shown above, after 3:00 pm, on March 18, 2022 or any day thereafter.

Accessibility: The City of Oshawa is committed to providing services as set out in the Accessibility for Ontarians with Disabilities Act, 2005. If you have accessibility needs and require alternate formats or other accommodations please contact the City Contact as shown above no later than March 22, 2022. Advance requests are highly encouraged to enable us to meet your needs adequately.

Freedom of Information and Protection of Privacy Act: Information will be collected in accordance with the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record.

This Notice issued March 11, 2022.

Address: 620 Taunton Road West

City of Oshawa
Development Services Department

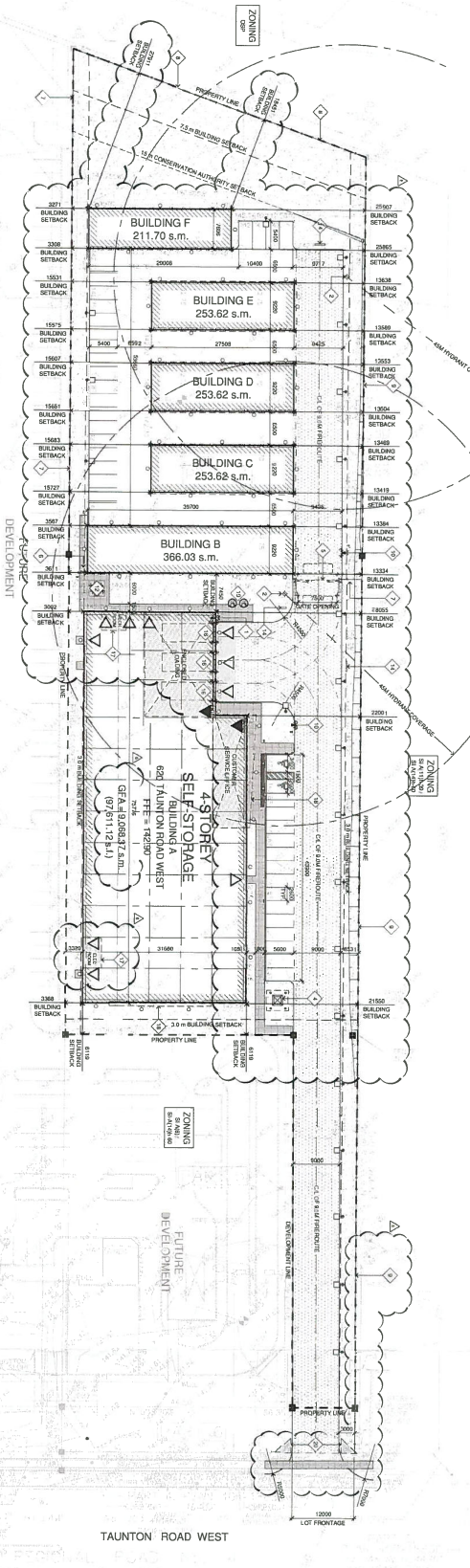


Survey Information

PROPERTY OF THE CITY OF OSHAWA
 PROJECT: 19023, 4 AND 5
 SHEET 15 (1) OF 15
 REGISTERED PLAN No. 357
 GEORGIAN TOWNSHIP OF EASTWATER
 CITY OF OSHAWA
 REGIONAL MUNICIPALITY OF OSHAWA



RECEIVED
 MAR 03 2022
 DEVELOPMENT SERVICES



General Notes

1. Refer to drawings and specifications for all construction.
2. All construction shall be in accordance with the Ontario Building Code, 1997, as amended.
3. All construction shall be in accordance with the Ontario Fire Code, 1997, as amended.
4. All construction shall be in accordance with the Ontario Electrical Code, 1997, as amended.
5. All construction shall be in accordance with the Ontario Gas Code, 1997, as amended.
6. All construction shall be in accordance with the Ontario Mechanical Code, 1997, as amended.
7. All construction shall be in accordance with the Ontario Plumbing Code, 1997, as amended.
8. All construction shall be in accordance with the Ontario Sanitary Code, 1997, as amended.
9. All construction shall be in accordance with the Ontario Structural Code, 1997, as amended.
10. All construction shall be in accordance with the Ontario Trenching and Shoring Code, 1997, as amended.
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14. All construction shall be in accordance with the Ontario Trenching and Shoring Code, 1997, as amended.
15. All construction shall be in accordance with the Ontario Trenching and Shoring Code, 1997, as amended.

Building Height

HEIGHT (m)	HEIGHT (ft)	PROPOSED
18.14	59.51	18.14 m
15.24	49.98	15.24 m
10.67	35.01	10.67 m
7.62	25.00	7.62 m
3.05	10.01	3.05 m
1.52	5.00	1.52 m

Building Floor Area

Building	Area (sq m)	Area (sq ft)
Building A	2,262.64	24,357.11
Building B	2,262.64	24,357.11
Building C	2,262.64	24,357.11
Building D	2,262.64	24,357.11
Building E	2,262.64	24,357.11
Building F	2,262.64	24,357.11
TOTAL FLOOR AREA (GFA)	14,409.04	154,902.66



Site Plan
 SCALE: 1:100
 DATE: 2022-02-28

Lot Information

LOT (m)	REQUIRED	PROPOSED
Frontage (Front Road Wall)	30.0 m	151.11 meters
Depth	60.0 m	100.00 meters
Front (Facing) Building	6.0 m	6.00 meters
Front (Facing) Lot	6.0 m	6.00 meters
Side	3.0 m	3.00 meters
Rear	7.5 m	15.4 m

Building Height

HEIGHT (m)	HEIGHT (ft)	PROPOSED
18.14	59.51	18.14 m
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Site Plan
 SCALE: 1:100
 DATE: 2022-02-28

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19023
 Site Plan
 Taunton Self Storage
 620 TAUNTON ROAD WEST
 OSHAWA, ONTARIO

Yautra Storage
OSHAWA ASSOCIATION
Force Majeure Architects
OSHAWA



Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on March 23, 2022 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2022-31**) submitted by **Michael Mendez** for **569 Berwick Crescent** (PL 946, Pt Lt 6), Oshawa, for minor variances from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit a semi-detached dwelling with an accessory apartment with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a semi-detached dwelling with an accessory apartment in a R2 (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Lot Frontage	9.1m	11m
Minimum Landscaped Open Space in the Front Yard	43%	50%

You have been sent this notice because you own land close to the subject property.

Meeting

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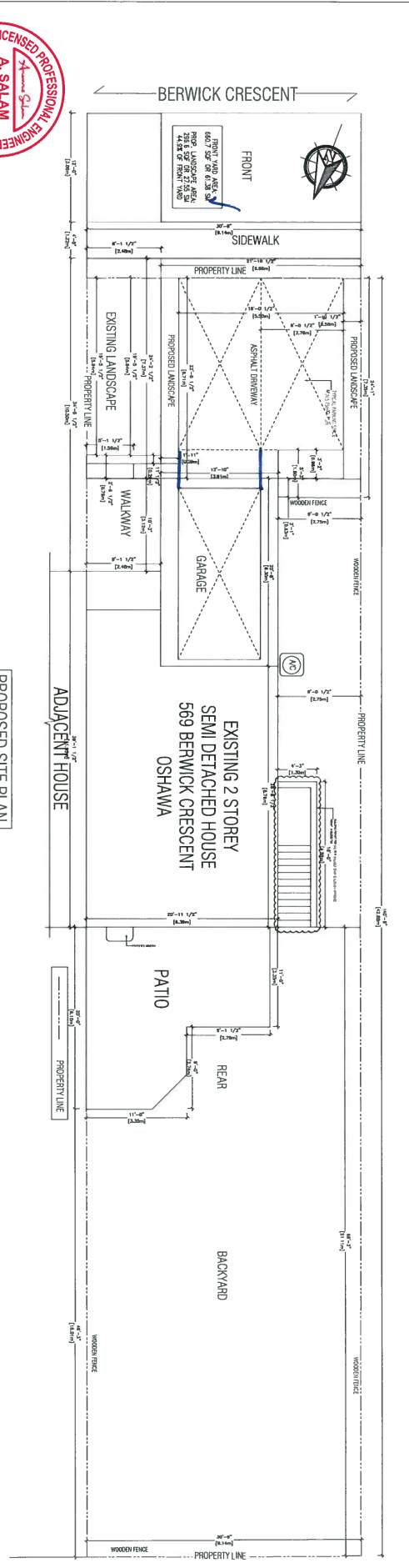
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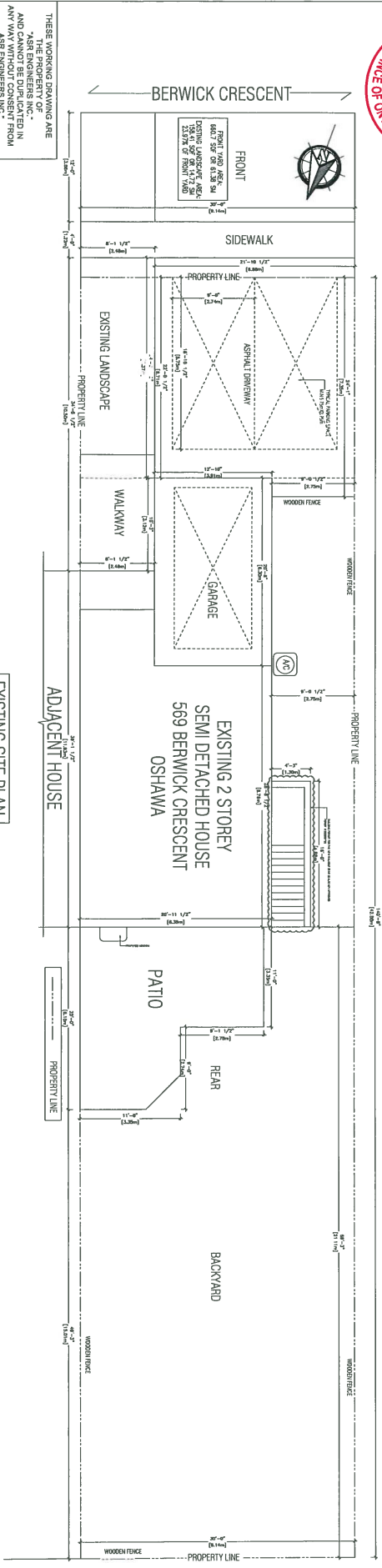
This Notice issued March 11, 2022.

Address: 569 Berwick Crescent

City of Oshawa
Development Services Department



PROPOSED SITE PLAN



EXISTING SITE PLAN

THESE WORKING DRAWINGS ARE THE PROPERTY OF ASR ENGINEERS INC. AND CANNOT BE REPRODUCED IN ANY WAY WITHOUT CONSENT FROM ASR ENGINEERS INC.



I, ANVAR SALAM have reviewed and take responsibility for the design work and am qualified in the appropriate category as an engineer. These design activities relate to the construction of a home as defined under the Ontario new home warranties Plan Act.

DRAWING TITLE: SITE PLAN
PROJECT NAME: 569 BERWICK CRESCENT, OSHAWA

ASR ENGINEERS INC.
647-745-5040
www.asringineers.ca
418 MIDLAND AVENUE, SCARBOROUGH, ON M1M4S5

DRAWN BY: S. HESSEN	CHECKED BY: A. SALAM
DATE: 27/11/2021	
SCALE: 3/32" = 1'	
REV: 02	
DRAWING NO: A0.02	