



Committee of Adjustment Meeting Agenda

**December 13, 2023, 6:00 p.m.
Committee Meeting Room**

The personal information contained in your correspondence to Oshawa Committee of Adjustment is collected under the Municipal Act, 2001. Any personal information you choose to disclose in your correspondence will be used to receive your views on the relevant issue(s) to enable the City to make its decision on the matter. This information will become part of the public record.

If you have inquiries or accessibility needs and require alternate formats or other accommodations please contact Committee of Adjustment by telephone 905 436 3853 or by email at committeeofadjustment@oshawa.ca or in person.

Members of the public are invited to provide written comments regarding any application to the Secretary-Treasurer of the Committee of Adjustment and/or attend the public hearing to express your comments to submit correspondence concerning this matter. Please address your comments to committeeofadjustment@oshawa.ca by 4:30 p.m. on December 13, 2023 in order for your correspondence to be provided to Committee members.

The City of Oshawa's Committee of Adjustment Calendar webpage (www.oshawa.ca/cofacalendar) shows upcoming meetings, agendas and a link to the live webstream player to enable easy access to view the meeting live.

Oshawa Committee of Adjustment

The Committee of Adjustment has five members appointed by Council and its responsibilities and conduct are governed primarily by Ontario's Planning Act, and related Regulations.

Below are the members of the Committee of Adjustment:

Andrew Johnson
Dean Lindsay
Douglas Thomson
Fred Eismont
Robert Adams

The Committee of Adjustment primarily considers all minor variances to the provisions of Zoning By-law 60-94, as amended, and extensions, enlargements or variations to existing legal non-conforming uses.

Adoption of Committee Minutes

Recommendation

That the minutes of the Committee of Adjustment meeting held on date be adopted.

Staff Reports

- | | | |
|-----------------------------|--|---------------|
| A-2023-105 | 1019 Summitview Crescent | Ward 3 |
| | Syed Jaffar Abbas Nasqvi | |
| | To permit a single detached dwelling which may include an accessory apartment with reduced parking space length and width, and landscaped open space in the front yard | |
| A-2023-112 | 75 John Street | Ward 4 |
| | Sunrise Seniors Place | |
| | To permit a senior citizens apartment building with reduced number of parking spaces | |
| A-2023-114 | 59 Wilson Road South | Ward 3 |
| | Clinton Dochuk on behalf of Travis Wilson | |
| | To permit a single detached dwelling which may include an accessory apartment with reduced number of parking spaces and to permit tandem parking spaces | |
| A-2023-117 & 118 | 179 College Avenue | Ward 5 |
| | Lillian Panea | |
| | To permit single detached dwellings with all parking in the front yard | |
| A-2023-120 | 117 Kawartha Avenue | Ward 5 |
| | Hugo Lo on behalf of Bazil Marshall and Corrina Clippingdale-Marshall | |
| | To permit a duplex which may include an accessory apartment with reduced parking space length | |
| A-2023-121 | 1129 Norman Crescent | Ward 5 |
| | Conlin Reaume on behalf of Robyn Sawyer | |
| | To permit a single detached dwelling with reduced front yard depth | |

- A-2023-122** **1466 Valley Drive** **Ward 5**
Anissa Clarke
To permit a single detached dwelling which may include an accessory apartment with reduced landscaped open space in the front yard
- A-2023-123** **511 Albert Street** **Ward 5**
Ladak Zahir-Abbas
To permit a semi-detached dwelling with a reduced front yard depth
- A-2023-124** **2099 Kedron Street** **Ward 2**
Aravind Gopi on behalf of Rajesh Maruote and Keerthi Changat
To permit a single detached dwelling which may include an accessory apartment with partial tandem parking, reduced front yard landscaped open space, and increased deck encroachment into the required rear yard
- A-2023-125** **1741 Shelburne Street** **Ward 1**
Srinivas Amanchi and Manisha Varagani
To permit a single detached dwelling which may include an accessory apartment with reduced landscaped open space in the front yard and parking space width and to permit partial tandem parking
- A-2023-126** **0 Ritson Road North** **Ward 4**
LANDx Developments on behalf of Downing Street (Ritson Rd) Inc.
To permit apartment buildings (stacked townhouses) with a reduced driveway sight triangle
- A-2023-127** **2492 Orchestrate Drive** **Ward 2**
Harold Leonardo Escobar on behalf of Irshad Ahmad Khan
To permit a single detached dwelling which may include two accessory apartments with reduced parking space length and width, and landscaped open space in the front yard

- A-2023-128 279 Humber Avenue Ward 4**
- Vladimir Bulakh on behalf of Paulo Barros
- To permit a single detached dwelling which may include two accessory apartments with reduced parking space width and landscaped open space in the front yard
- A-2023-129 116 Merivale Court Ward 3**
- Shivani Khapare
- To permit a single detached dwelling with reduced rear yard depth
- A-2023-130 178 Celina Street Ward 4**
- Rakib Mustafa
- To permit an apartment building with reduced front, and exterior side yard depths, and landscaped open space in the rear yard
- A-2023-131 305 Oshawa Boulevard South Ward 4**
- 1596451 Ontario Limited
- To permit semi-detached dwellings or a semi-detached building with reduced lot areas and lot frontages
- A-2023-132 399 Thornton Road North (Part 1 on Draft R-plan) Ward 4**
- Paulo Barros
- To permit a single detached dwelling which may include an accessory apartment with reduced lot frontage, lot area and landscaped open space in the front yard
- A-2023-133 399 Thornton Road North (Part 2 on Draft R-plan) Ward 4**
- Paulo Barros
- To permit a single detached dwelling which may include an accessory apartment with reduced lot frontage, lot area and landscaped open space in the front yard

A-2023-134 1023 Ridgemount Boulevard

Ward 4

Akshay Joshi on behalf of Shahzaib Dhanani

To permit a single detached dwelling which may include an accessory apartment with reduced parking space width and length, landscaped open space in the front yard and to permit partial tandem parking

If you wish a copy of the Decision and/or Notices of future Committee of Adjustment meetings concerning an application listed above, fill in the information below and return to the Secretary-Treasurer or send an email to committeeofadjustment@oshawa.ca. Thank you.

File Number: _____

Name: _____

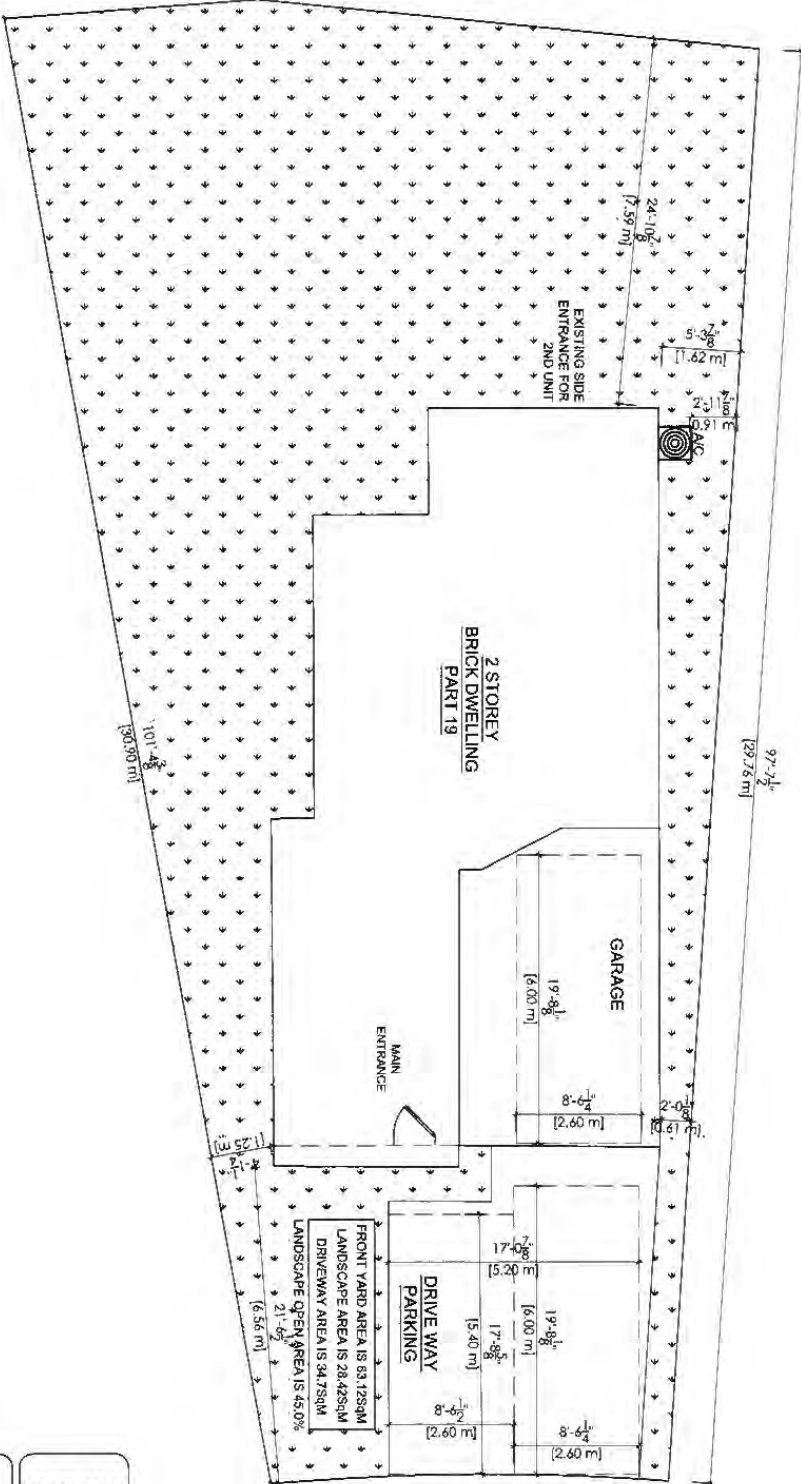
Address: _____

Postal Code: _____

E-Mail Address: _____

Address: 1019 Summitview Crescent

City of Oshawa
Economic and Development Services



1019 Summitview Crescent, Oshawa
ADDRESS:

HOUSE OWNER:

Drawing Title: SITE PLAN
Date: 13/AUG/2023
Scale: 1:1/8

JAJURA
DESIGN STUDIO
BCIN: 108652

Drawing Number
A102

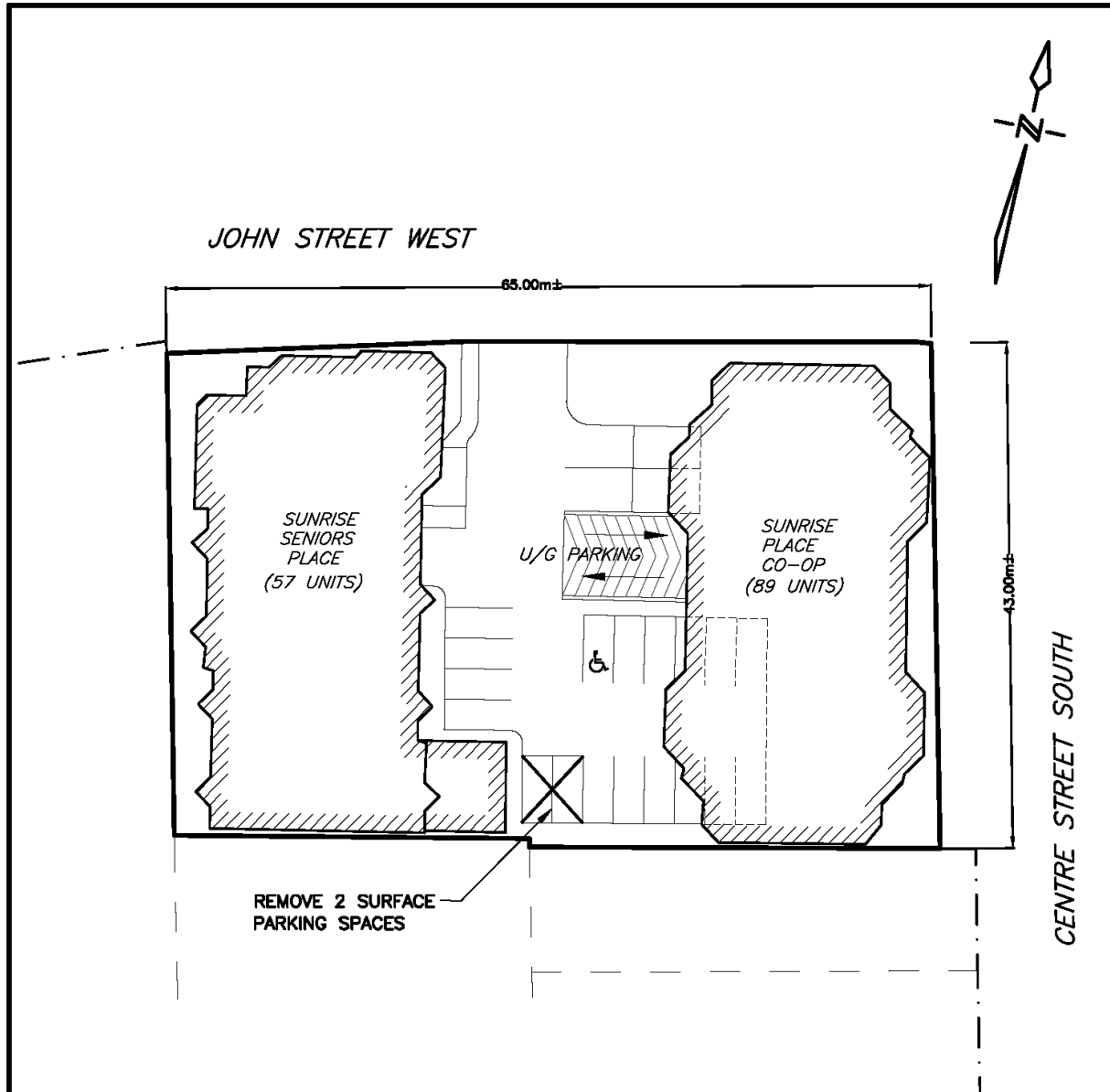
BCIN: 101904

CONSTRUCTION INFORMATION:
THIS DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES. THE DESIGNER ACCEPTS NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING.

Address: 75 John Street West and 130 Centre Street South



City of Oshawa
Economic and Development Services 



	EXISTING	PROPOSED
SURFACE PARKING	22 SPACES	20 SPACES
UNDERGROUND PARKING	45 SPACES	45 SPACES
TOTAL PARKING	67 SPACES	65 SPACES

75 JOHN STREET, OSHAWA, ONTARIO

SITE SKETCH



D.G. Biddle & Associates Limited
consulting engineers and planners
96 KING STREET EAST • OSHAWA, ON • L1H 1B6
PHONE (905)576-8500 • FAX (905)576-9730
info@dgibiddle.com

SCALE N.T.S.
DRAWN B.B.
DESIGN M.F.
CHECKED M.F.
DATE NOV.3,2023

PROJECT
123083

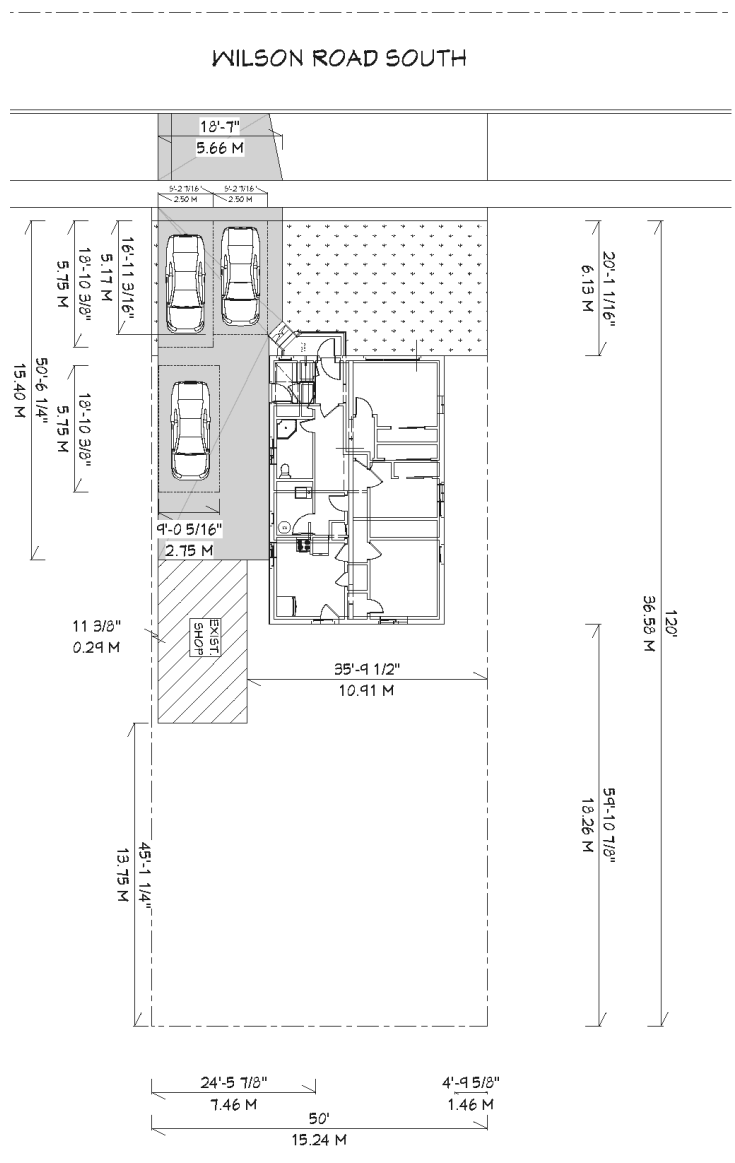
DWG
FIG 1

Address: 59 Wilson Road South



LOT DETAILS:

LOT AREA:	557.42 SM
FRONTAGE:	15.24M
FRONT YARD AREA:	49.31 SM
FRONT YARD OPEN SPACE:	53.68 SM (51.52%)



SCHEDULES

SITE PLAN

SCALE 1/8"=1'

GENERAL NOTES:

DRAWINGS ARE TO READ, NOT SCALED. DO NOT BEGIN CONSTRUCTION OR RESUME OF PREVIOUS WORK UNTIL THE DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED IN WRITING BY THE CLIENT. THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL, UNLESS REVISED BY DESIGNER. IF ANY DISCREPANCIES ARE NOTICED, THE DRAWINGS AND DOCUMENTS PROVIDED HERE ARE WITHIN THE EXCLUSIVE PROPERTY OF HOW DRAFTING AND DESIGN. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

QUALIFICATION INFORMATION:

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

NAME	B.C.I.N.
HOW DRAFTING AND DESIGN	B.C.I.N.
DESIGN FIRM	113937
	B.C.I.N.

Number	Date	Revised By	Description

PROJECT NORTH:

TRUE NORTH:

DRAWN BY: WJA
PROJECT ADDRESS: 59 Wilson Rd S, Oshawa
PROJECT NUMBER: 2023-049
DRAWING TITLE: AS INDICATED
SHEET NO.

CHECKED BY: CE
PROJECT ADDRESS: 59 Wilson Rd S, Oshawa
PROJECT NUMBER: 2023-049
DRAWING TITLE: AS INDICATED
SHEET NO.

A-1001



14 ASHDALE CRES
BOWMANVILLE, ON
289-355-4402
CLIENT@HOMDESIGN.CA



Committee of Adjustment

File: **A-2023-117 and A-2023-118**

Ward: **5**

Notice of Hearing under the Planning Act Concerning Applications for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Applications (Files **A-2023-117 and A-2023-118**) submitted by **Lillian Panea** for **179 College Avenue** (PL 196 LT 58, PT LT 57), Oshawa for minor variances from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the applications are to permit single detached dwellings with all parking in the front yard, whereas Zoning By-law 60-94 requires one parking space to be located in the side or rear yard or in a garage for a single detached dwelling in a R2 (Residential) Zone.

You have been sent this notice because you own land close to the subject property.

Meeting

This public meeting is open to the public and will take place in person in the C-Wing Committee Meeting Room, Oshawa City Hall, 50 Centre Street South. Members of the public wishing to verbally address the Committee through electronic means rather than appear in-person to make a delegation are required to submit their request to the City Contact shown below by 4:30 p.m. on December 11, 2023.

Members of the public are invited to submit correspondence concerning this matter. Please address your comments to the City Contact shown below by 4:30 p.m. on December 13, 2023 in order for your correspondence to be provided to Committee members for the December 13, 2023 public meeting.

The City of Oshawa's Committee of Adjustment Calendar webpage (www.oshawa.ca/cofacalendar) show upcoming meetings, agendas and a link to the live webstream player to enable easy access to view the meeting live.

City Contact: Deb Dutta, Oshawa City Hall, 50 Centre Street South, Oshawa, Ontario L1H 3Z7 or by telephone at 905-436-3311, extension 2376 or by email to committeeofadjustment@oshawa.ca.

How to submit written comments: Written comments to the Committee must be received no later than 4:30 pm on December 13, 2023. Submissions are accepted by email at committeeofadjustment@oshawa.ca or by mailing the Committee of Adjustment at the address shown above. Please include your name, your address and application number or address of the property you are providing comments on.

To Obtain Additional information: For more information, contact the City Contact as shown above between 8:30 am and 4:30 pm Monday to Friday.

To Access the Report: A copy of the staff report is available by contacting the City Contact as shown above, after 3:00 pm, on December 8, 2023 or any day thereafter.

Accessibility: The City of Oshawa is committed to providing services as set out in the Accessibility for Ontarians with Disabilities Act, 2005. If you have accessibility needs and require alternate formats or other accommodations please contact the City Contact as shown above no later than December 11, 2023. Advance requests are highly encouraged to enable us to meet your needs adequately.

Freedom of Information and Protection of Privacy Act: Information will be collected in accordance with the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record.

This Notice issued December 1, 2023.

Address: 177 College Avenue

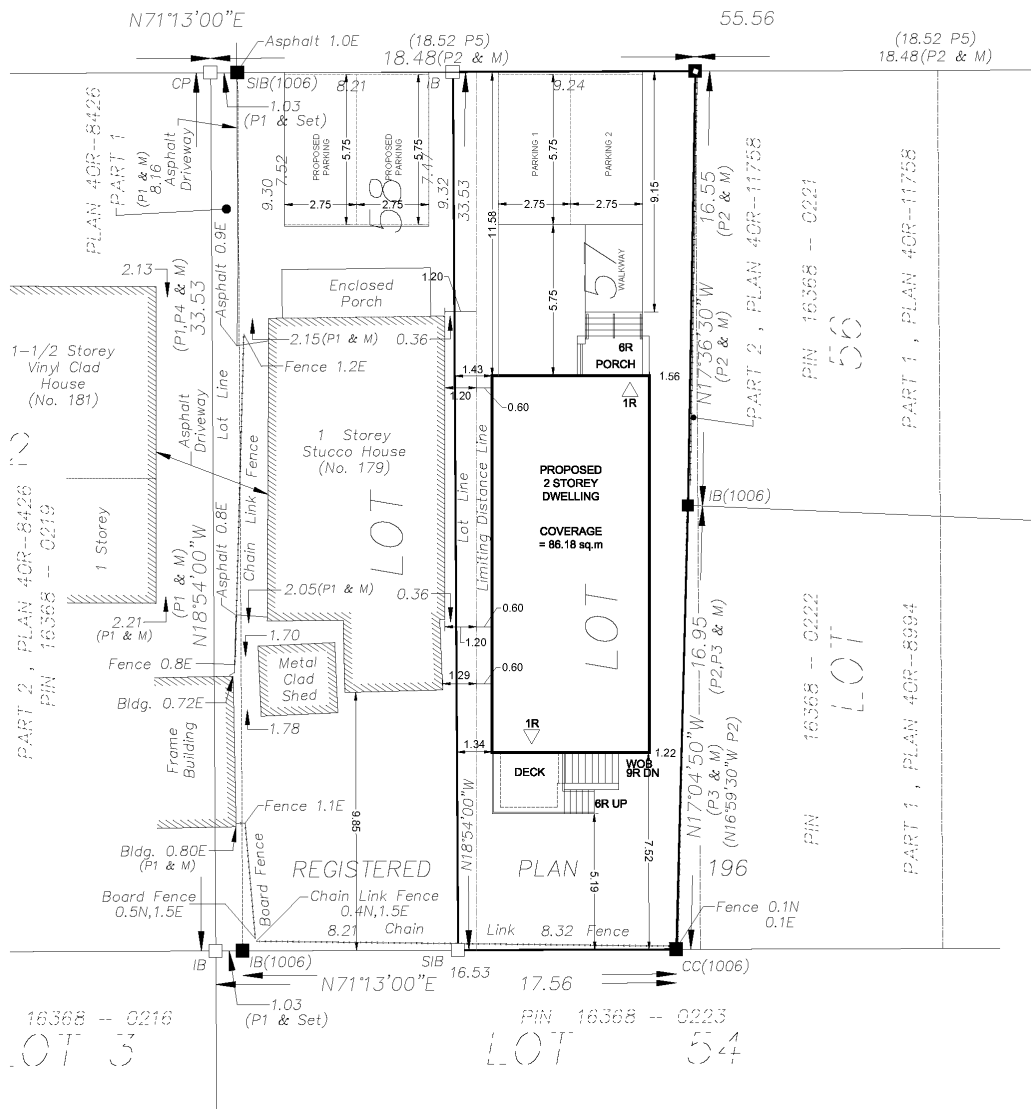


City of Oshawa
Economic and Development Services

FOR REVIEW

COLLEGE AVENUE

(BY REGISTERED PLAN 62)
PIN 16368 -- 0347



FOR REVIEW ONLY - NOT FOR PERMIT OR CONSTRUCTION

Danlyn Design

l.vlad@danlyn.ca tel: 89-928-3993
I, VLADIMIR VLADYKOV, DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK SHOWN ON THIS PLAN. I AM A REGISTERED PROFESSIONAL ENGINEER, PART B, SUBJECT TO THE REGULATION OF PROFESSIONAL ENGINEERS AND THE PLAN IS REGISTERED IN THE APPROPRIATE CLASS OF CATEGORIES.
Firm BCIN: 103186 Qualified Designer BCIN: 102872 Date:

No.	Description	Date
1.	ISSUED FOR REVIEW	SEPT 20, 2023
2.	ISSUED FOR MINOR VARIANCE	OCT 4, 2023
3.		
4.		
5.		
6.		
7.		
8.		

Project: COLLEGE AVENUE, OSHAWA
Sheet Title: PROPOSED SITE PLAN

Project No. 23-32
Drawing No. SP

Scale: 1:150

H:\PLAN07-IT Mgmt09-Data Trans\Attachments-Committee\Adjustment\2023\16-December\13\p65A-2023-117&118.pdf

Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File A-2023-120) submitted by **Hugo Lo on behalf of Bazil Marshall and Corrina Clippingdale-Marshall** for **117 Kawartha Avenue** (PL 684 LT 6), Oshawa for minor variances from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit a duplex which may include an accessory apartment with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a duplex which may include an accessory apartment in a R2 (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum accessory apartment floor area located wholly above or below main dwelling unit	50%	75%
Minimum Length of Parking Space	5.1m	5.75m

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This Notice issued December 1, 2023.

Address: 117 Kawartha Avenue

Economic and Development Services



Item	Group	Description	Area (m ²)	Volume (m ³)	Weight (kg)	Notes
1	Group A	Project Description				
2	Group B	Water Occupancy	12.110			
3	Group C	Excavation	4.871			
4	Group D	Excavation	1.132			
5	Group E	Excavation	1.132			
6	Group F	Excavation	1.132			
7	Group G	Excavation	1.132			
8	Group H	Excavation	1.132			
9	Group I	Excavation	1.132			
10	Group J	Excavation	1.132			
11	Group K	Excavation	1.132			
12	Group L	Excavation	1.132			
13	Group M	Excavation	1.132			
14	Group N	Excavation	1.132			
15	Group O	Excavation	1.132			
16	Group P	Excavation	1.132			
17	Group Q	Excavation	1.132			
18	Group R	Excavation	1.132			
19	Group S	Excavation	1.132			
20	Group T	Excavation	1.132			

ZONING REQUIREMENTS

ZONE: R1-C	REQUIRED	PROVIDED	NOTES
MIN. LOT FRONTAGE	13.5m	19.6m	
MIN. LOT AREA	405m ²	601m ²	
MIN. FRONT YARD DEPTH	6.0m	6.03m	REFER TO 6.2
MIN. REAR YARD SETBACK	7.5m	10.7m	
MIN. SIDE YARD SETBACK	1.0m	1.0m	
MAX. LOT COVERAGE	40%	28.13%	
MAX. HEIGHT	9.0m	7.52m	

PROJECT SUMMARY

TYPE	AREA (m ²)	VOLUME (m ³)	WEIGHT (kg)
ST. AREA	601.01	6,489.26	
FLOOR AREA	4,972.47	52,811.14	
BUILDING COVERAGE	169.04	1,819.59	28.13%
HANDICAP AREA	72.17	776.79	12.01%
LANDSCAPE AREA	359.8	3,877.9	59.87%
BUILDING HEIGHT	4.45 m	14.60 m	

GROSS FLOOR AREA BREAKDOWN

GROUP	EXISTING	PROPOSED	GROSS FLOOR AREA (GFA)
GROUND	7.62	82.04	89.66
GROUND	7.62	82.04	89.66
GROUND	7.62	82.04	89.66
GROUND	7.62	82.04	89.66
GROUND	7.62	82.04	89.66
GROUND	7.62	82.04	89.66
GROUND	7.62	82.04	89.66
GROUND	7.62	82.04	89.66
GROUND	7.62	82.04	89.66
GROUND	7.62	82.04	89.66



KEY PLAN
N.T.S.



KAWARTHA AVENUE

1 SITE PLAN
1:100

Project: WALK-OUT BASEMENT ADDITION
 Client: Kojo La-Anyane ARCHITECT
 Address: 505 GARDEN LANE, NEW BRUNSWICK, ONTARIO, CANADA
 Phone: TEL: 905 899 4989

Drawn by: [Signature]
 Checked by: [Signature]
 Date: [Date]

Project No: A101



Committee of Adjustment

File: **A-2023-121**

Ward: **5**

Notice of Hearing under the Planning Act Concerning an Application for a Minor Variance

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-121**) submitted by **Conlin Reaume on behalf of Robyn Sawyer** for **1129 Norman Crescent** (PL 279 PT LT 10), Oshawa for a minor variance from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the applications are to permit a single detached dwelling with a minimum front yard depth of 4.5m, whereas Zoning By-law 60-94 requires a minimum 6.0m front yard depth for a single detached dwelling in a R1-D (Residential) Zone.

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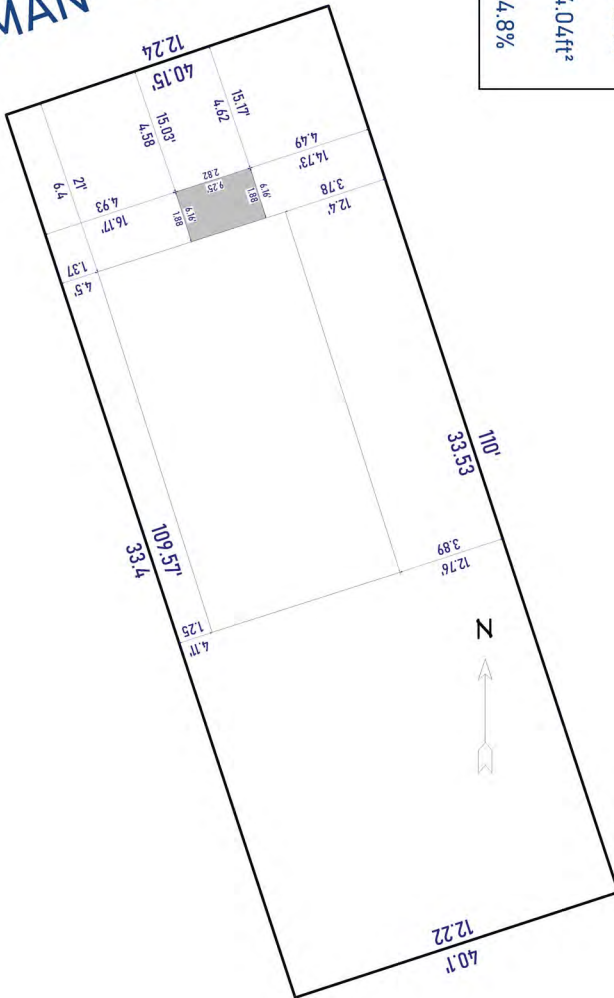
Address: 1129 Norman Crescent

City of Oshawa
Economic and Development Services



SITE PLAN DATA	
LOT AREA.....	4405.15ft ²
GFA.....	EXISTING..... 1037ft ²
	PROPOSED..... 57,04ft ²
	TOTAL..... 1094,04ft ²
GFA/LOT AREA RATIO.....	24.8%

NORMAN CRESCENT



SCALE: 1"=200'



CONTRACTOR:
Sunspace Sunrooms Windows &
Doors
300 Toronto St. Newcastle
Ontario, Canada L1B 1C2

OWNER:
1129 Norman Crescent,
Oshawa, ON L1H 7W9

1

I CERTIFY THAT I, SHAWN SAWATZKY, HAVE
REVIEWED AND TAKE RESPONSIBILITY FOR
THIS DESIGN AND I HAVE MET THE
REQUIREMENTS AND QUALIFICATIONS AS
SET OUT IN THE ONTARIO BUILDING CODE.
BCIN: 28441

DRAW
N BY:
SMS

Shawn Sawatzky



Committee of Adjustment

File: **A-2023-122**

Ward: **5**

Notice of Hearing under the Planning Act Concerning an Application for a Minor Variance

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-122**) submitted by **Anissa Clarke** for **1466 Valley Drive** (PL 40M1399 PT LT 30 NOW RP 40R9843 PT 9), Oshawa for a minor variance from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit a single detached dwelling which may include an accessory apartment with 41% landscaped open space in the front yard, whereas Zoning By-law 60-94 requires a minimum of 50% of the front yard to be maintained as landscaped open space for a single detached dwelling which may include an accessory apartment in a R2 (Residential) Zone.

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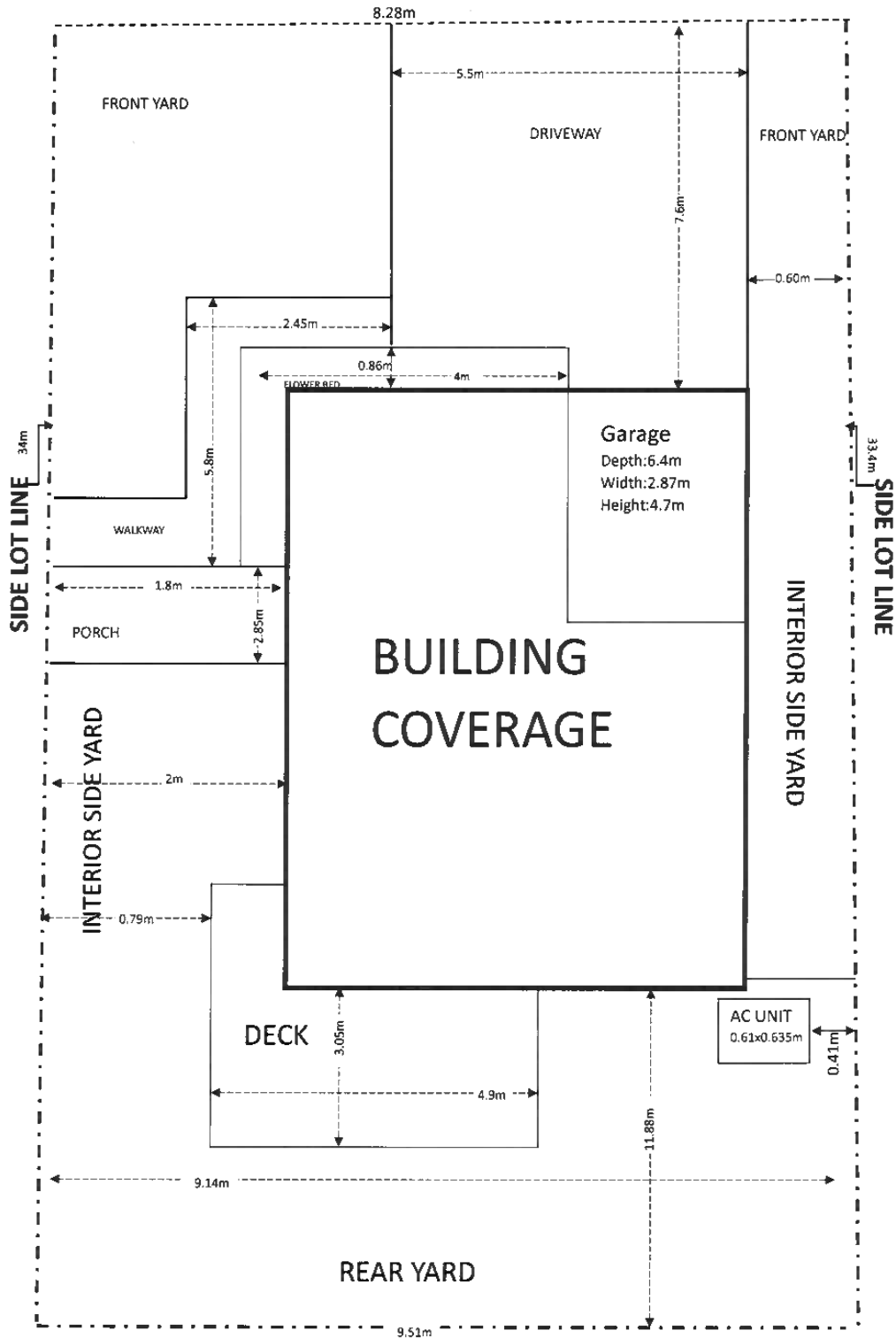
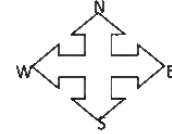
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This Notice issued December 1, 2023.

Address: 1466 Valley Drive



City of Oshawa
Economic and Development Services 





Committee of Adjustment

File: **A-2023-123**

Ward: **5**

Notice of Hearing under the Planning Act Concerning an Application for a Minor Variance

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-123**) submitted by **Ladak Zahir-Abbas** for **511 Albert Street** (PL 279 PT LT 10), Oshawa for a minor variance from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit a semi-detached dwelling with a minimum front yard depth of 5.6m, whereas Zoning By-law 60-94 requires a minimum 6.0m front yard depth for a semi-detached dwelling in a R2 (Residential) Zone.

You have been sent this notice because you own land close to the subject property.

Meeting

This public meeting is open to the public and will take place in person in the C-Wing Committee Meeting Room, Oshawa City Hall, 50 Centre Street South. Members of the public wishing to verbally address the Committee through electronic means rather than appear in-person to make a delegation are required to submit their request to the City Contact shown below by 4:30 p.m. on December 11, 2023.

Members of the public are invited to submit correspondence concerning this matter. Please address your comments to the City Contact shown below by 4:30 p.m. on December 13, 2023 in order for your correspondence to be provided to Committee members for the December 13, 2023 public meeting.

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City Contact: Deb Dutta, Oshawa City Hall, 50 Centre Street South, Oshawa, Ontario L1H 3Z7 or by telephone at 905-436-3311, extension 2376 or by email to committeeofadjustment@oshawa.ca.

How to submit written comments: Written comments to the Committee must be received no later than 4:30 pm on December 13, 2023. Submissions are accepted by email at committeeofadjustment@oshawa.ca or by mailing the Committee of Adjustment at the address shown above. Please include your name, your address and application number or address of the property you are providing comments on.

To Obtain Additional information: For more information, contact the City Contact as shown above between 8:30 am and 4:30 pm Monday to Friday.

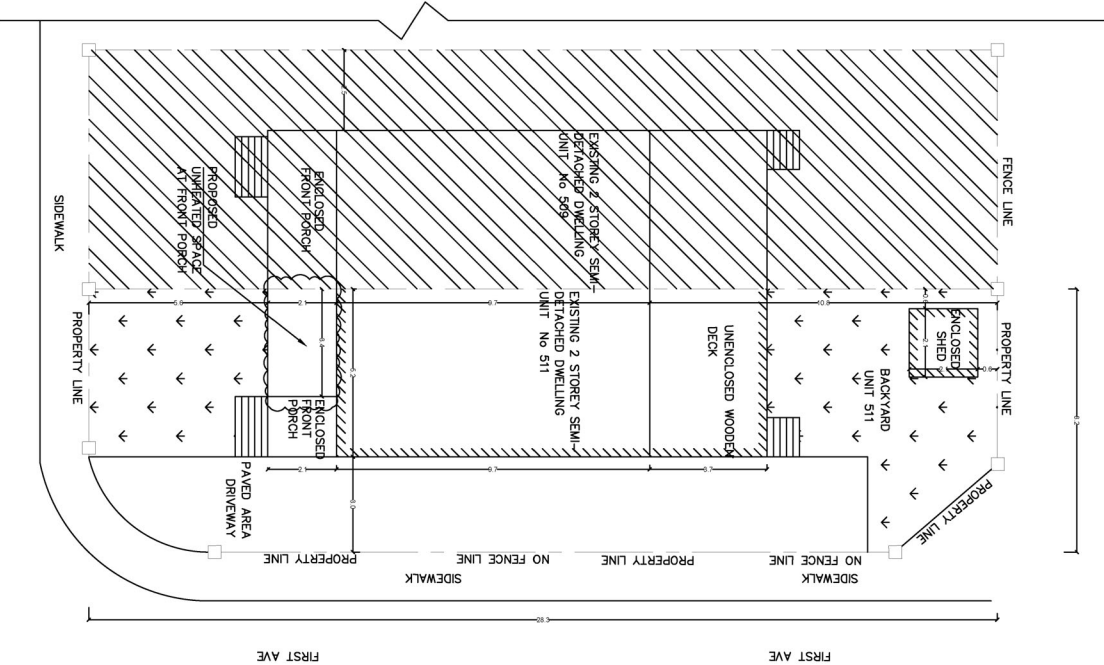
To Access the Report: A copy of the staff report is available by contacting the City Contact as shown above, after 3:00 pm, on December 8, 2023 or any day thereafter.

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Freedom of Information and Protection of Privacy Act: Information will be collected in accordance with the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record.

This Notice issued December 1, 2023.

Address: 511 Albert Street



- Legend
- Adjacent structure
 - Existing structure
 - Outside landscaping
 - Proposed Construction

ZONING	LOT NO:	PLAN NO:	LOT AREA	LOT FRONTAGE	LOT DEPTH
R2	10	279 OSHAWA	2,423.0 sqft (225.0 m ²)	28'-11" (8.2m)	82'-10" (25.3 m)
DESCRIPTION	EXISTING	ADDITION	TOTAL	% ALLOWED	% PROPOSED
LOT DECK/SHED	848.5 sqft (78.3 m ²)	771.0 sqft (71.5 m ²)	677.5 sqft (62.8 m ²)	40	18'-4" (5.6 m)
ENCLOSED SHED	4.85 m ²		4.85 m ²		35'-7" (10.85 m)
GROSS FLOOR AREA	1,098.0 m ²	771.0 m ²	1,869.0 m ²		
LOWER FLOOR AREA	364.5 m ²	364.5 m ²	729.0 m ²		
FIRST FLOOR AREA	548.5 m ²	771.0 m ²	1,319.5 m ²		
NO. OF STORES	2 STOREY	2 STOREY	2 STOREY		
HEIGHT	20'-0" (6.25m)	20'-0" (6.25m)	20'-0" (6.25m)		
WIDTH	17'-2" (5.23 m)	17'-2" (5.23 m)	17'-2" (5.23 m)		
LENGTH	39'-0" (12.0 m)	39'-0" (12.0 m)	39'-0" (12.0 m)		
SETBACKS	FRONT YARD	REAR YARD	EXTENSION SIDE (South)	INTERIOR SIDE (North)	
	19'-6" (6.0 m)	24'-6" (7.5 m)	7'-10" (2.4 m)	0'-0"	



Rev Issue Date Description
 0 10/18/2023 Issued for approval

Owner Name & Address:
 Zahir Laddak, email: zahir.laddak@gmail.com
 511 Albert St. Oshawa L1H 4S7

Designer:
 The Underigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.

Qualification Information
 Missam Saifi 111895
 Name
 Registration Information
 Required unless design exempt under section C-3.2.4.1 of the Building Code
 VHL Leaders Contracting Inc. 119 718
 Firm Name BCIN

Project Title:
 Proposed Enclosed Porch for Two Storey Semi-Detached Single Family Dwelling Unit

Drawing Title:
 Proposed Site Plan

Designed: Checked: Date: WS WS 10/19/2023
 Discipline: Sheet no: Scale: Architectural A0.4 1:125



Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File A-2023-124) submitted by **Aravind Gopi on behalf of Rajesh Maruote and Keerthi Changat** for **2099 Kedron Street** (PL 40M2047 LT 81), Oshawa for minor variances from the City’s Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit a single detached dwelling which may include an accessory unit with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a single detached dwelling unit which may include an accessory apartment in a R1-E (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Landscaped Open Space in the Front Yard	43%	50%
Maximum Encroachment of Unenclosed Deck into Required Rear Yard	3.4m	2.4m
Parking Space Location	Partial Tandem	Tandem Parking not permitted

You have been sent this notice because you own land close to the subject property.

Meeting

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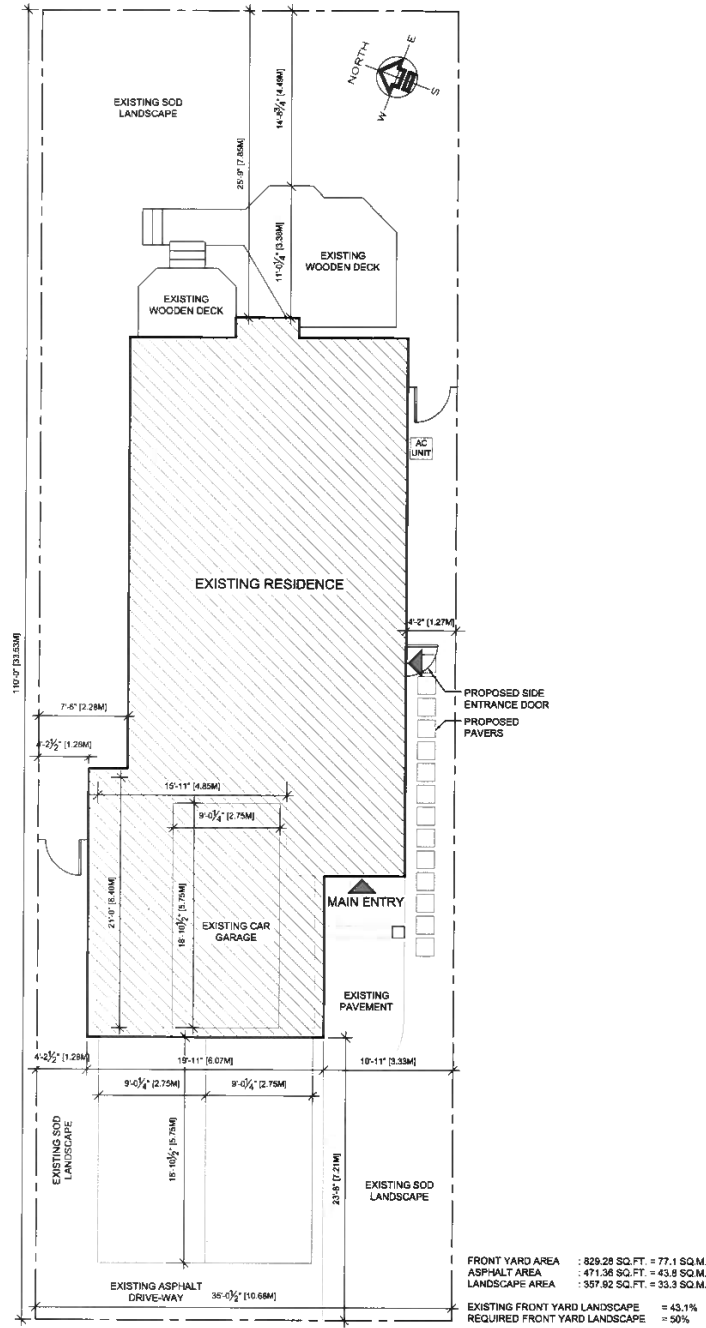
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Address: 2099 Kedron Street



City of Oshawa
Economic and Development Services



FRONT YARD AREA : 829.28 SQ.FT. = 77.1 SQ.M.
 ASPHALT AREA : 471.36 SQ.FT. = 43.8 SQ.M.
 LANDSCAPE AREA : 357.82 SQ.FT. = 33.3 SQ.M.
 EXISTING FRONT YARD LANDSCAPE = 43.1%
 REQUIRED FRONT YARD LANDSCAPE = 50%

① SITE PLAN
SCALE : 3/16" = 1'-0"

SITE PLAN

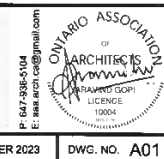
SCALE : 1:100

PROPOSED BASEMENT SECOND UNIT
 2099 KEDRON ST.,
 OSHAWA ON L1L 1B9

NO.	REVISIONS	DATE	BY
3	ISSUED FOR MINOR VARIANCE	14 NOV 2023	AG
2	ISSUED FOR PERMIT	18 OCT 2023	AG
1	ISSUED FOR OWNERS REVIEW	01 OCT 2023	AG

DATE: NOVEMBER 2023

DWG. NO. A01



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This Notice issued December 1, 2023.

Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-125**) submitted by **Srinivas Amanchi and Manisha Varagani** for **1741 Shelburne Street** (PL 40M2483 LT 10), Oshawa for minor variances from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit a single detached dwelling which may include an accessory apartment with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a single detached dwelling which may include accessory apartment in a R1-E.C45 (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Landscaped Open Space in the Front Yard	45%	50%
Minimum Parking Space Width	2.6m	2.75m
Parking Space Location	Permit partial tandem parking	Tandem parking not permitted

You have been sent this notice because you own land close to the subject property.

Meeting

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City Contact: Deb Dutta, Oshawa City Hall, 50 Centre Street South, Oshawa, Ontario L1H 3Z7 or by telephone at 905-436-3311, extension 2376 or by email to committeeofadjustment@oshawa.ca.

How to submit written comments: Written comments to the Committee must be received no later than 4:30 pm on December 13, 2023. Submissions are accepted by email at committeeofadjustment@oshawa.ca or by mailing the Committee of Adjustment at the address shown above. Please include your name, your address and application number or address of the property you are providing comments on.

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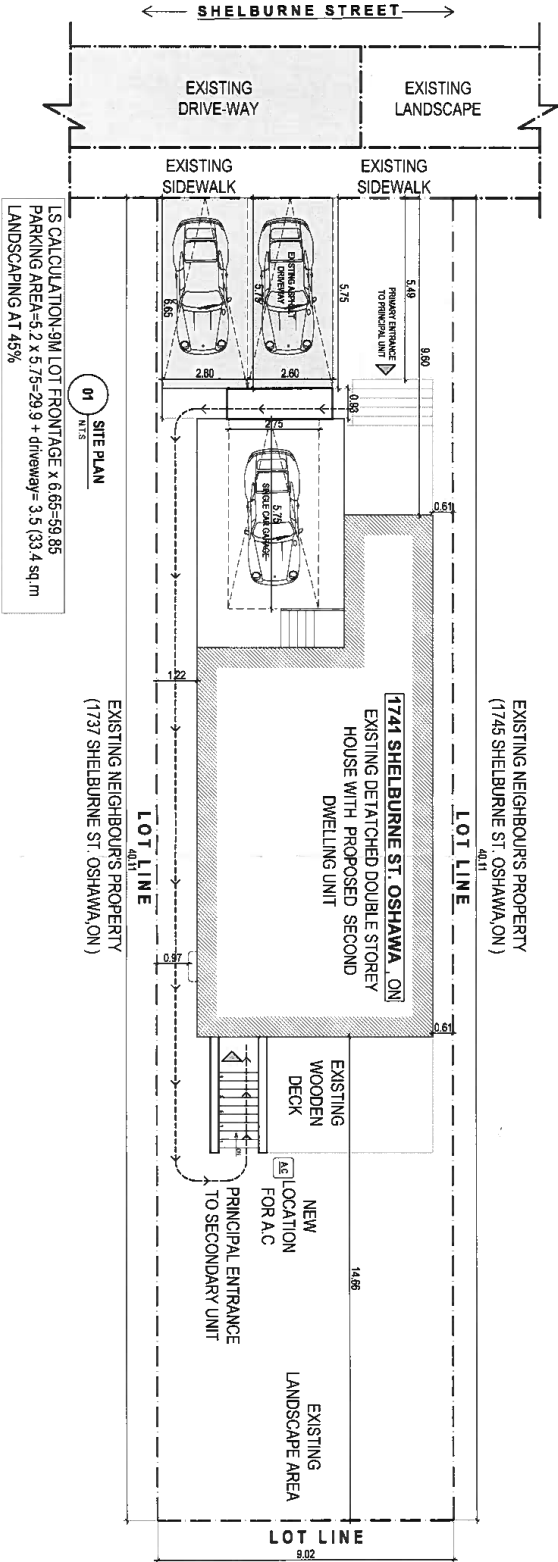
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This Notice issued December 1, 2023.

Address: 1741 Shelburne Street



SITE STATISTICS	
TOTAL LOT AREA	- 361.6 SQ. M.
TOTAL GFA	- 253.4 SQ.M.
PROPOSED (SECOND UNIT) GFA	= 77.97 SQ.M.
TOTAL PARKING REQUIRED FOR PRIMARY UNIT	- 02
TOTAL PARKING REQUIRED FOR SECOND UNIT	- 01
PARKING PROVIDED - 1 IN GARAGE & 2 ON DRIVEWAY	

00 BUILDING PERMIT	2023-09-20
RE/ISSUED FOR	DATE
PROJECT NAME AND ADDRESS:	
PROPOSED SECOND UNIT	
DWELLING IN AN UNFINISHED BASEMENT	
AT 1741 SHELburne ST OSHAWA, ON, L1K 3B8.	
LEAD CONSULTANT:	
STRUCTURAL ENGINEER	
MEP CONSULTANT:	
DRAWING TITLE:	
SITE PLAN	
DRAWN BY	PS
CHECKED BY	PS
APPROVED BY	PS
SCALE	SIZE
1/8"=1'-0"	A3
SHEET NO	STAGE
A02	REVISED
PHASE	REV
00	00
ISSUED DATE	2023-09-20



Committee of Adjustment

File: **A-2023-126**

Ward: **4**

Notice of Hearing under the Planning Act Concerning an Application for a Minor Variance

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-126**) submitted by **LANDx Developments on behalf of Downing Street (Ritson Rd) Inc.** for **0 Ritson Road North** (RCP 1087 LT 28 PL 335 SHT 3 PT LT C9 SHT 4 PT LT C32 PL 150 ALL EVEN LTS 168 TO 194 PT LTS 166 196 40R17295 PT 1,2,3,9), Oshawa for a minor variance from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit apartment buildings (stacked townhouses) with a driveway to Oshawa Boulevard North with a 1.75m by 1.75m driveway sight triangle on the north side of the driveway, whereas Zoning By-law 60-94 requires a 3.0m by 3.0m driveway sight triangle for apartment buildings in a R6-B(14) (Residential) Zone.

The subject site is also subject to an application for Site plan Approval (File SPA-2021-14).

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Meeting

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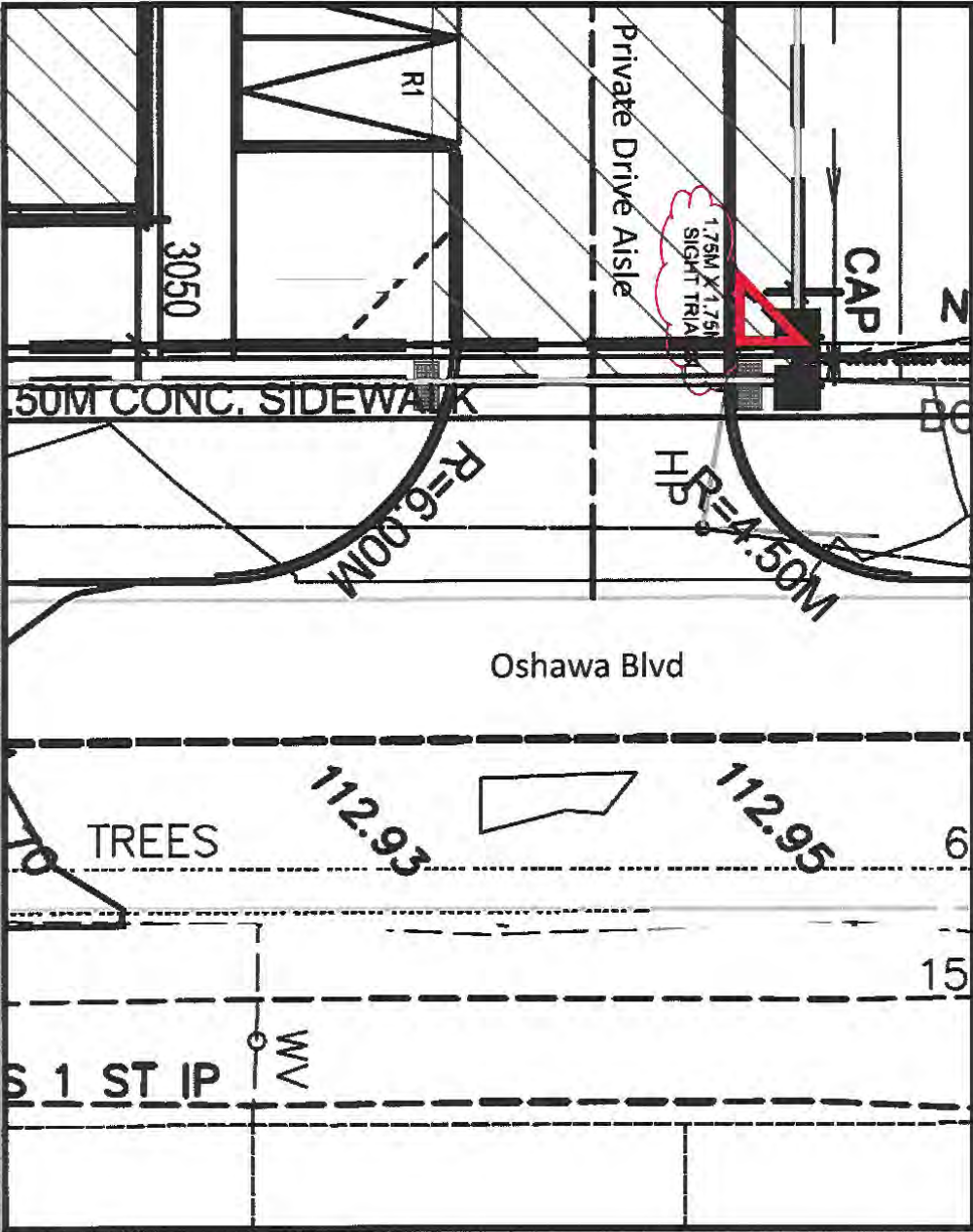
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This Notice issued December 1, 2023.

Address: 0 Ritson Road North



City of Oshawa Zoning By-law No. 60-94

Section 4.5.2

Requirement:

Corner and Driveway Site Triangle to be dimensioned 3m x 3m.

Provided:

Corner and Driveway Site Triangle dimensioned 1.75m x 1.75m.

Excerpt of Drawing No. SP100 prepared by VINCENT J. SANTAMAURA ARCHITECT



Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File A-2023-127) submitted by **Harold Leonardo Escobar on behalf of Irshad Ahmad Khan** for **2492 Orchestrate Drive** (PL 40M2690 LT 33), Oshawa for minor variances from the City’s Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit a single detached dwelling which may include two accessory apartments with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a single detached dwelling which may include two accessory apartment in a R1-E(24) (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Parking Space Length	4.4m	5.75m
Minimum Parking Space Width	2.6m	2.75m
Minimum Landscaped Open Space in the Front Yard	45%	50%

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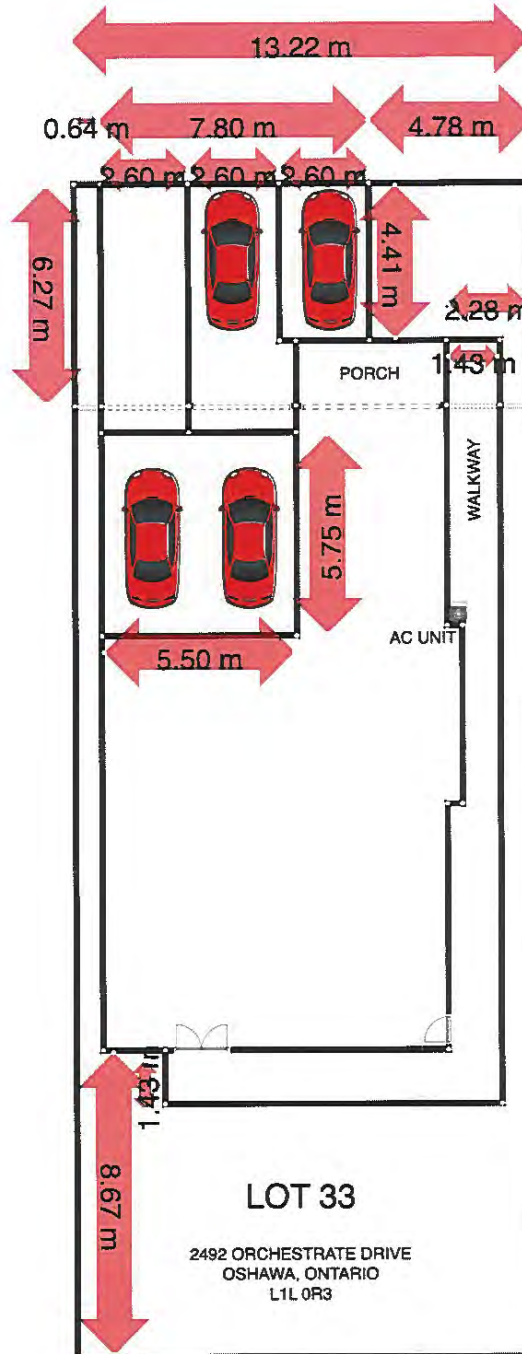
Address: 2492 Orchestrate Drive



ORCHESTRATE DRIVE

TOTAL FRONTAGE SQ METERS : 82.88

TOTAL PARKING SQ METER : 44.63 : 54 % of FRONTAGE AREA



LOT 33

2492 ORCHESTRATE DRIVE
OSHAWA, ONTARIO
L1L 0R3

Total Area: 419.655 m²



Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-128**) submitted by **Vladimir Bulakh on behalf of Paulo Barros** for **279 Humber Avenue** (PL 646 PT LT 35), Oshawa for minor variances from the City’s Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit a single detached dwelling which may include two accessory apartments with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a single detached dwelling which may include two accessory apartments in a R1-C (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Parking Space Width	2.6m	2.75m
Minimum Landscaped Open Space in the Front Yard	47%	50%

The subject site is also subject to an application for Removal of Part Lot Control (File PLC-2023-06).

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Meeting

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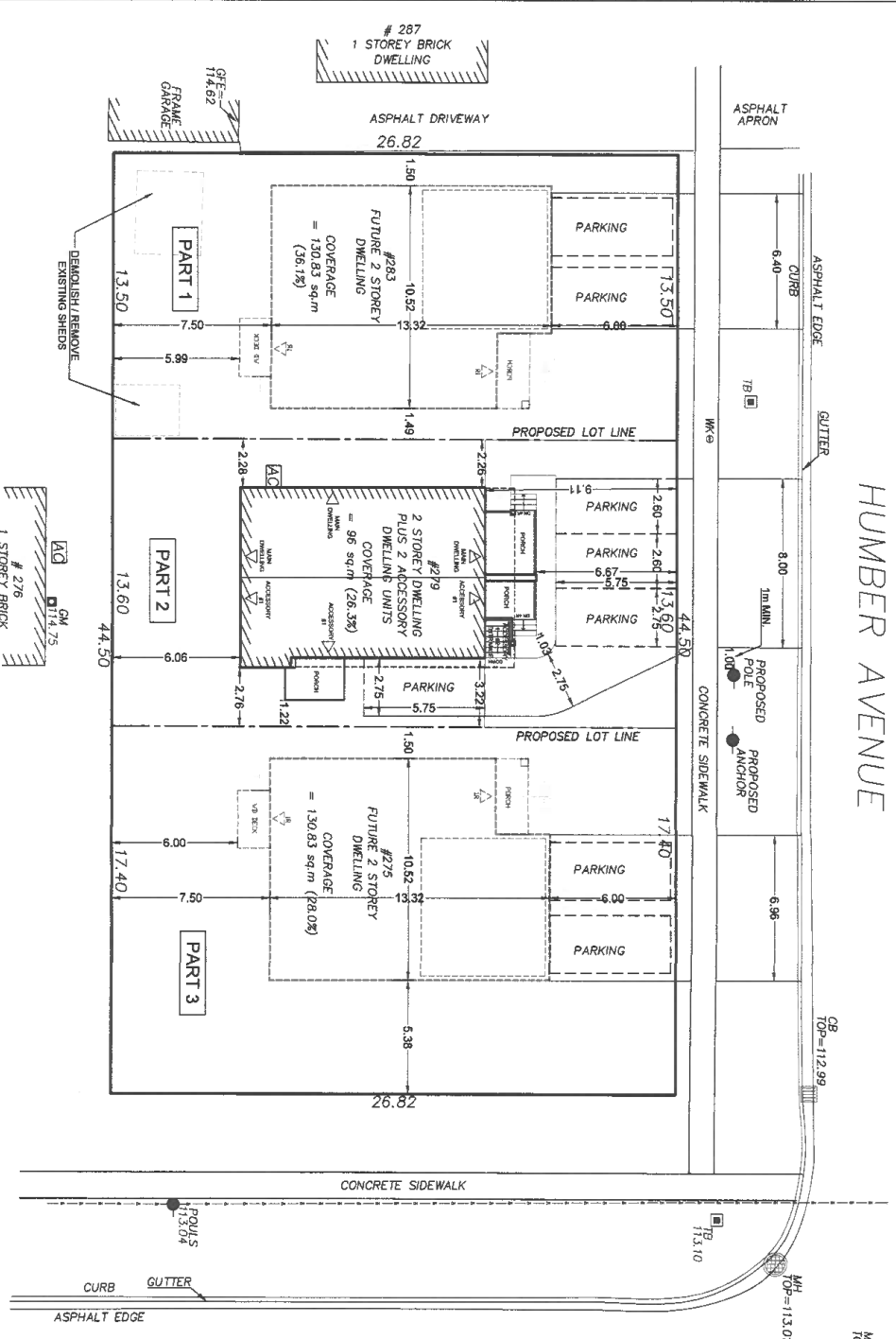
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This Notice issued December 1, 2023.

Address: 279 Humber Avenue

City of Oshawa
Economic and Development Services



PROPOSED LOTS			
LOT	FRONTAGE (m)	DEPTH (m)	AREA (sq.m)
PART 1	13.50	26.82	362
PART 2	13.60	26.82	365
PART 3	17.40	26.82	466

Dalya Design

14-36-93-2923

Signature: *[Signature]*
Date: November 14, 2023

Qualified Designer BCIC: 150172

Demolish/Remove Existing Sheds

No.	Description	Date
1	FOR VARIANCE AND REMOVAL OF P.L.C.	JUNE 6, 2023
2	DWELLING WITH 2 ADU UNITS	OCT 30, 2023
3	4 PROPOSED SPACES	NOV 8, 2023
4	288 x 1.5m PROPOSED	NOV 10, 2023
5	REDESIGN PLAN DRAWING	NOV 14, 2023
6		NOV 15, 2023

Project: PART OF LOT 35, PLAN 846

Sheet Title: #279 HUMBER AVENUE PROPOSED SITE PLAN

Project No.: 23-38

Drawing No.: SP

Scale: 1:200

FOR PERMIT

Notice of Hearing under the Planning Act Concerning an Application for a Minor Variance

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-129**) submitted by **Shivani Khapare** for **116 Merivale Court** (PL 40M2681 LT 8), Oshawa for a minor variance from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit a single detached dwelling with a minimum rear yard depth of 3.9m, whereas Zoning By-law 60-94 requires a minimum rear yard depth of 7.5m for a single detached dwelling in a R1-C(13) (Residential) Zone.

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Meeting

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Freedom of Information and Protection of Privacy Act: Information will be collected in accordance with the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record.

This Notice issued December 1, 2023.

Address: 116 Merivale Court

City of Oshawa
Economic and Development Services



944 Cranford Dr.
Peterborough, Ontario L3H 5N3
www.lifestylesunrooms.com
Tel: 905-463-6693
Fax: 800-914-4822

PROJECT

LIFESTYLE SUNROOM
ADDITION

PROJECT ADDRESS

116 MERIVALE COURT
OSHAWA, ON
L1H 8S4

DRAWING TITLE

SITE PLAN

DRAWING NUMBER

03

REVISION PROJECT DESIGN#

PR93834

MODEL TYPE

3126 STUDIOS 5" ALUMINUM TOP

CLIENT

JANORAL ADJUSTMENTS

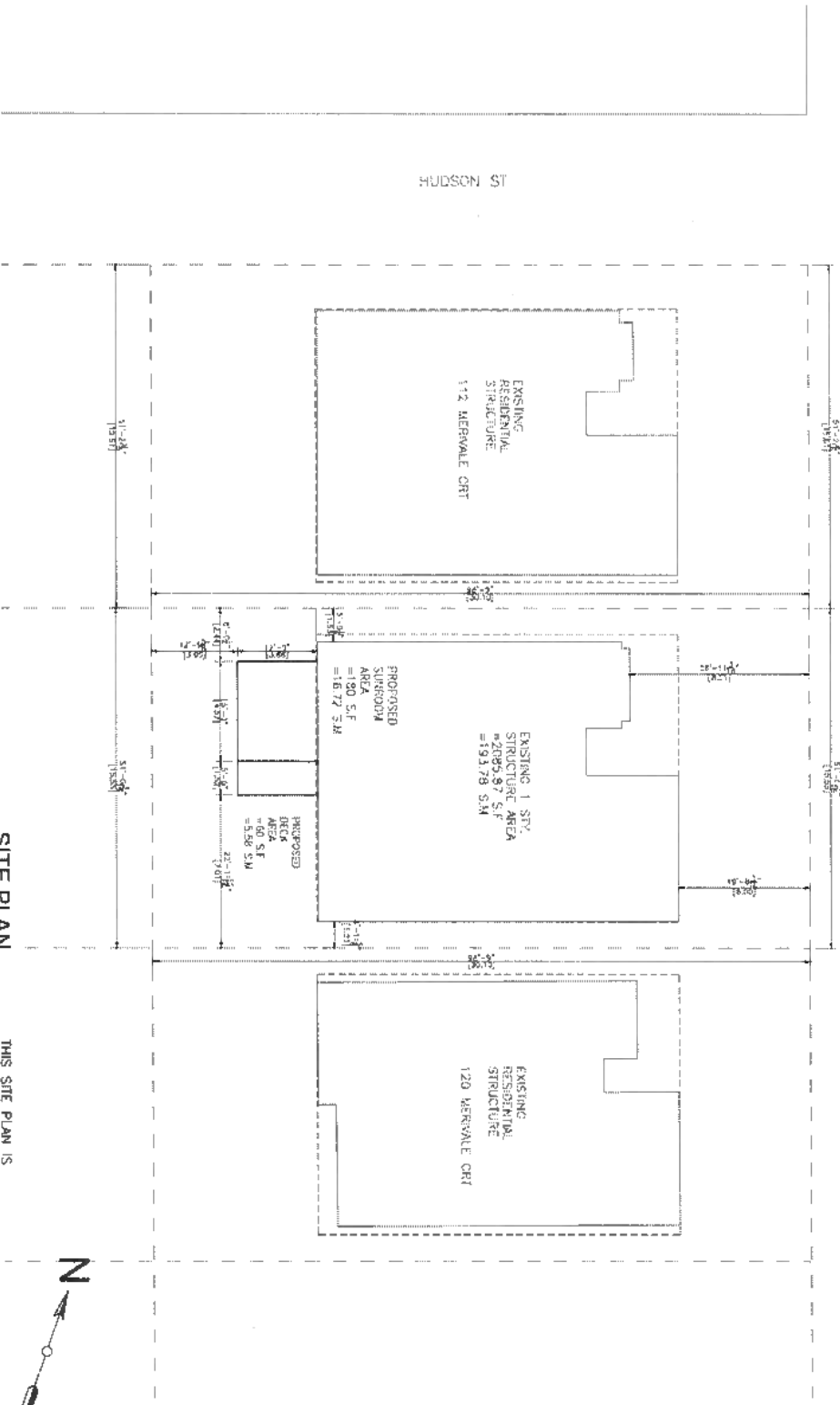
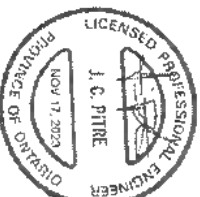
DATE SCALE

NOV 17, 2023

DRAWN BY: CHECKED BY:

LW J.P.

LIFESTYLE ENGINEERING



SITE PLAN
SCALE = 1:200

THIS SITE PLAN IS
DRAWN PER THE OWNER
INFORMATION

Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File A-2023-130) submitted by **Rakib Mustafa** for **178 Celina Street** (PL H-50005 PT LT 20), Oshawa for minor variances from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit fourplex with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for fourplex in a R2/R3-A/R5-C/R6-B/R7-A (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Front Yard Depth - First Floor	Existing	6m
Minimum Front Yard Depth - Second Floor	2.6m	6m
Minimum Exterior Side Yard Depth – First Floor	Existing	3m
Minimum Exterior Side Yard Depth – Second Floor	2.1m	3m
Minimum Landscaped Open Space in the Rear Yard	23%	50%

You have been sent this notice because you own land close to the subject property.

Meeting

This public meeting is open to the public and will take place in person in the C-Wing Committee Meeting Room, Oshawa City Hall, 50 Centre Street South. Members of the public wishing to verbally address the Committee through electronic means rather than appear in-person to make a delegation are required to submit their request to the City Contact shown below by 4:30 p.m. on December 11, 2023.

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City Contact: Deb Dutta, Oshawa City Hall, 50 Centre Street South, Oshawa, Ontario L1H 3Z7 or by telephone at 905-436-3311, extension 2376 or by email to committeeofadjustment@oshawa.ca.

How to submit written comments: Written comments to the Committee must be received no later than 4:30 pm on December 13, 2023. Submissions are accepted by email at committeeofadjustment@oshawa.ca or by mailing the Committee of Adjustment at the address shown above. Please include your name, your address and application number or address of the property you are providing comments on.

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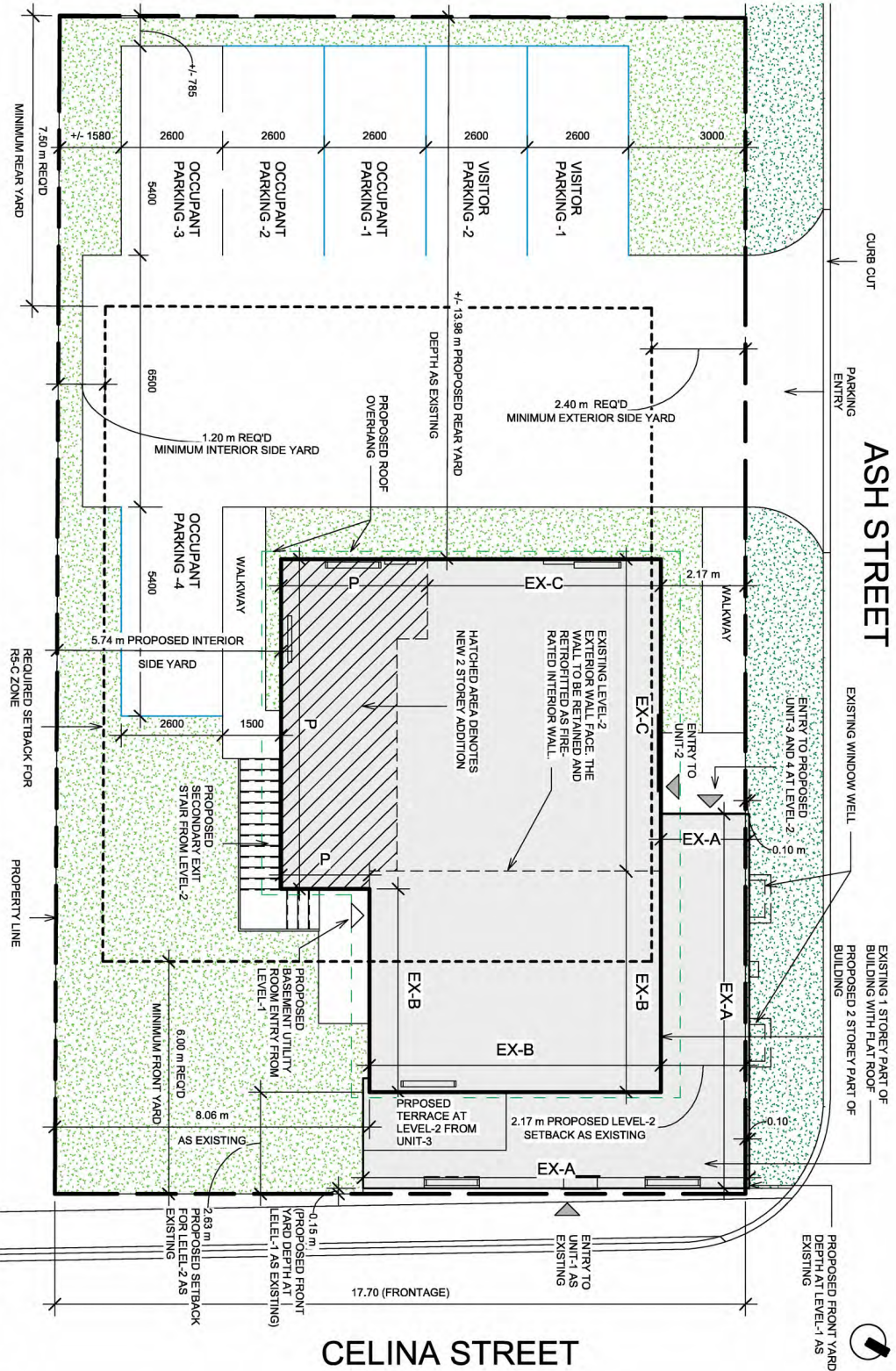
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This Notice issued December 1, 2023.

Address: 178 Celina Street

Economic and Development Services
City of Oshawa
OSHWAWA



1 Site Plan
1 : 100

- LEGEND**
- P PROPOSED NEW 2 STOREY ADDITION
 - EX-A EXISTING ONE STOREY FACADE TO RETAIN *
 - EX-B EXISTING TWO STOREY FACADE TO BE EXTENDED TO PROPOSED BUILDING HEIGHT *
 - EX-C EXISTING ONE STOREY FACADE TO BE EXTENDED TO PROPOSED BUILDING HEIGHT *
 - * ADDITIONAL REINFORCEMENT TO BE DETAILED AT PERMIT DRAWING PHASE
 - ENTRY TO PROPOSED UNITS
 - ENTRY TO PROPOSED UTILITY AREA

CELINA STREET

2023-11-22 2:41:07 AM
PROJECT NO: 23002
SCALE: As indicated
DRAWN BY: AA
REVIEWED BY: AA
DATE: 2023-11-22
PAGE: A-100

Drawing Title :
Proposed Site Plan

PROJECT NAME
RENOVATION AND ADDITION OF 178 CELINA ST., OSHWAWA, ON

Issue/Revision Schedule

#	Rev.	Date
1	ISSUED FOR MINOR VARIANCE	2023-11-21

ONTARIO ASSOCIATION OF ARCHITECTS
AL AUFRANDZEB
LICENCE 9303

43 Orchard View Blvd, Oshawa, Ontario, L1G 5N8
al.auf@osha.on.ca
alaufrandz@oshawaid.com
www.oshawaid.com

28 ENGINEERING INC.

This drawing shall not be used for construction purposes unless stamped by the professional engineer.

DO NOT SCALE THIS DRAWING

Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-131**) submitted by **1596451 Ontario Limited** for **305 Oshawa Boulevard South** (PL 267 PT LT 159,160), Oshawa for minor variances from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit two semi-detached dwellings with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for two semi-detached dwellings in a R2 (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Lot Area for a Semi-Detached Dwelling	221m ²	225m ²
Minimum Lot Frontage for a Semi-Detached Dwelling	6.1m	7.5m
Minimum Lot Area for a Semi-Detached Building	442m ²	450m ²
Minimum Lot Frontage for a Semi-Detached Building	12.2m	15m

The subject site is also subject to an application for Land Division (File LD-2023-068).

You have been sent this notice because you own land close to the subject property.

Meeting

This public meeting is open to the public and will take place in person in the C-Wing Committee Meeting Room, Oshawa City Hall, 50 Centre Street South. Members of the public wishing to verbally address the Committee through electronic means rather than appear in-person to make a delegation are required to submit their request to the City Contact shown below by 4:30 p.m. on December 11, 2023.

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City Contact: Deb Dutta, Oshawa City Hall, 50 Centre Street South, Oshawa, Ontario L1H 3Z7 or by telephone at 905-436-3311, extension 2376 or by email to committeeofadjustment@oshawa.ca.

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This Notice issued December 1, 2023.

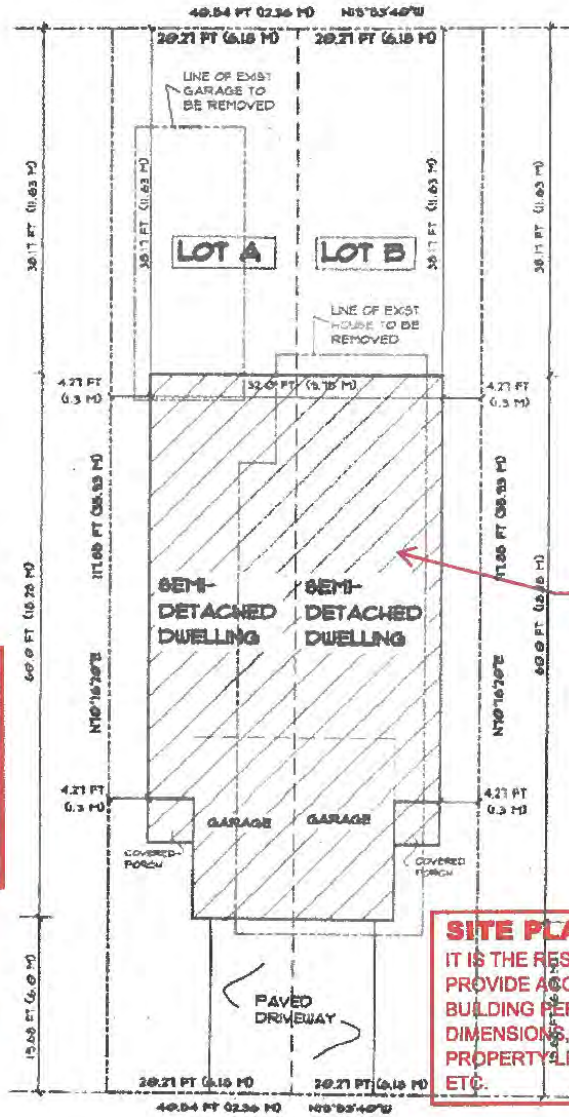
Address: 305 Oshawa Boulevard South



City of Oshawa
Economic and Development Services

SITE PLAN

SCALE 1" = 3/32"
INFORMATION FROM
PLAN OF SURVEY OF
PART OF LOTS 193 & 140
REGISTERED PLAN 261
CITY OF OSHAWA
REGIONAL MUNICIPALITY
OF DURHAM
AS PREPARED BY DHP
SURVEYORS



FUTURE PERMITS
REQUIRED TO
CONSTRUCT
SEMI-DETACHED
HOUSE, THIS
PERMIT COVERS
DEMOLITION OF EX.
DWELLINGS ONLY

CORPORATION OF THE CITY OF OSHAWA
**TRUE COPY
OF PERMIT PLANS**
Nov 01 2023
PER:
CHIEF BUILDING OFFICIAL

**BUILDING PERMIT #
202301291
CITY OF OSHAWA**

SITE PLAN
IT IS THE RESPONSIBILITY OF OWNER(S) TO
PROVIDE ACCURATE SITE INFORMATION FOR
BUILDING PERMIT APPLICATION INCLUDING
DIMENSIONS, LOT AREA, AND LOCATIONS OF
PROPERTY LINE, EASEMENTS, RIGHT OF WAYS,
ETC.

OSHAWA BLYD. SOUTH

LOT A	
AREA OF LOT	2385 FT ² (22.02 M ²)
AREA OF DWELLING	854 FT ² (83.05 M ²)
AREA OF COVERED PORCH	25 FT ² (2.32 M ²)
TOTAL LOT COVERAGE	879 FT ² (80.41 M ²)
AREA OF FRONT YARD	350 FT ² (31.06 M ²)
AREA OF PAVED DRIVE	171 FT ² (16.44 M ²)
TOTAL LANDSCAPED AREA	22 FT ² (2.05 M ²)

LOT B	
AREA OF LOT	2385 FT ² (22.02 M ²)
AREA OF DWELLING	854 FT ² (83.05 M ²)
AREA OF COVERED PORCH	25 FT ² (2.32 M ²)
TOTAL LOT COVERAGE	879 FT ² (80.41 M ²)
AREA OF FRONT YARD	350 FT ² (31.06 M ²)
AREA OF PAVED DRIVE	171 FT ² (16.44 M ²)
TOTAL LANDSCAPED AREA	22 FT ² (2.05 M ²)



HULL DRAFTING & DEVELOPMENT
Specializing in:
• Commercial, Industrial and Residential Drafting
• Official Plan Amendments
• Site Plan Agreements
• Rezoning
Phone: 905-728-4848 (office) 905-922-8885 (cell)
Email: huldrafting@gmail.com

QUALIFICATION INFORMATION
L10017-IT Mgmt09 Data TransAttachments - CommitteeAdjustment2023116 - December 13, 2023 - 01.pdf

Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-132 and A-2023-133**) submitted by **Paulo Barros** for **399 Thornton Road North** (EAST WHITBY CON 2 PT LT 16 PL M1143 BLK A AND RP 40R31452 PT 2), Oshawa for minor variances from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the applications is to permit a single detached dwelling on each proposed lot which may include an accessory apartment with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for single detached dwellings which may include an accessory apartment in a R1-C (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Lot Frontage	10.5m	13.5m
Minimum Lot Area	300m ²	405m ²
Minimum Landscaped Open Space in the Front Yard	43%	50%

The lands subject to this application are also subject to an application for Land Division (File: LD-2023-55).

You have been sent this notice because you own land close to the subject property.

Meeting

This public meeting is open to the public and will take place in person in the C-Wing Committee Room, Oshawa City Hall, 50 Centre Street South. Members of the public wishing to verbally address the Committee through electronic means rather than appear in-person to make a delegation are required to submit their request to the City Contact shown below by 4:30 p.m. on December 11, 2023.

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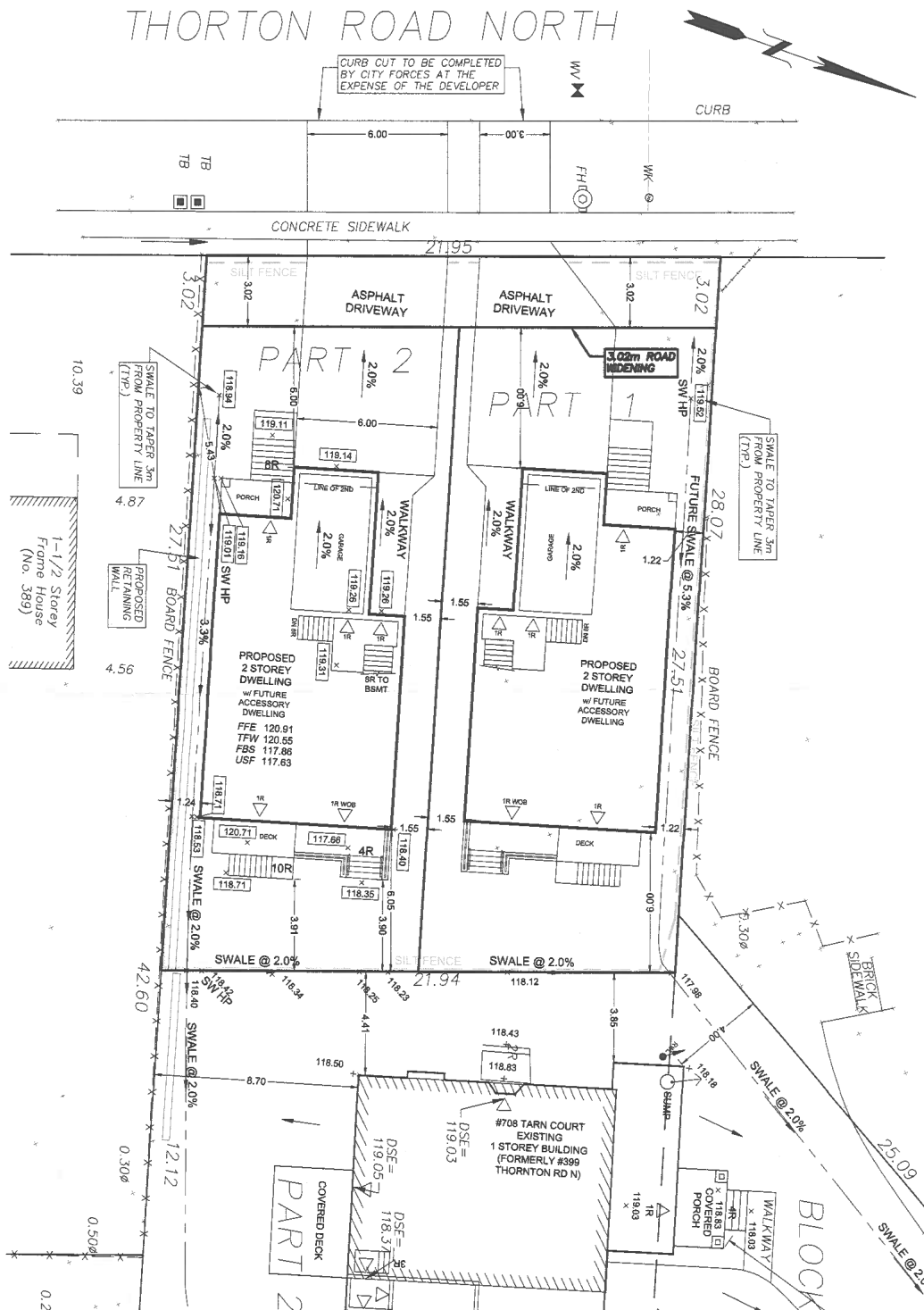
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This Notice issued December 1, 2023.

Address: 399 Thornton Road North

FOR REVIEW



Danlyn Design

180-918-9993
180-918-9993
Firm BCIN: 103188
Qualified Designer BCIN: 162972
Date:

No.	Description	Date
1.	ISSUED FOR REVIEW	NOV 22, 2021
2.	REDUCED HOUSE LENGTH BY 5"	FEB 9, 2022
3.	ISSUED FOR MINOR VARIANCE	SEPT 29, 2022
4.	SITING w/ 2 DWELLING - PART 1, PART 2	APR 25, 2023
5.		
6.		
7.		
8.		

Project	THORNTON RD N, OSHAWA	Project No.	21-034
Sheet Title	PROPOSED SITE PLAN	Drawing No.	SP
Scale		Scale	1:200



Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

Notice is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on December 13, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-134**) submitted by **Akshay Joshi on behalf of Shahzaib Dhanani** for **1023 Ridgemount Boulevard** (PL 40M1802 LT 67), Oshawa for minor variances from the City's Zoning By-law 60-94.

Purpose and Effect: The purpose and effect of the application is to permit a single detached dwelling which may include an accessory apartment with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a single detached dwelling which may include an accessory apartment in a R1-E.Y4.5 (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Parking Space Width	2.6m	2.75m
Minimum Parking Space Length	5.4m	5.75m
Minimum Landscaped Open Space in the Front Yard	42%	50%
Location of Parking Spaces	Permit partial tandem	Tandem parking not permitted

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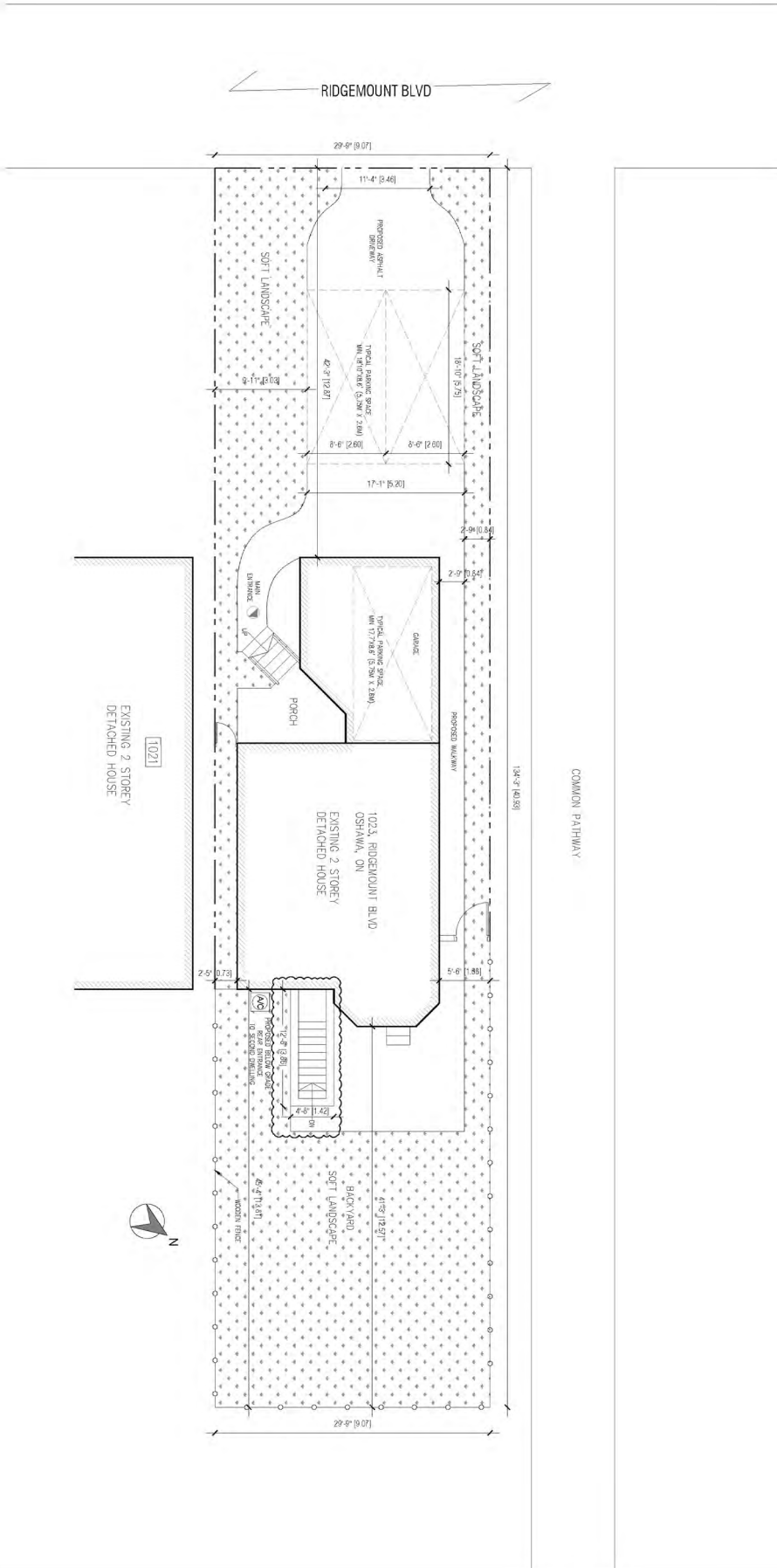
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This Notice issued December 1, 2023.

Address: 1023 Ridgemount Boulevard



THESE WORKING DRAWINGS ARE THE PROPERTY OF BEYOND BUILDING ENGINEERING AND CONSTRUCTION INC. AND CANNOT BE REPRODUCED IN ANY WAY WITHOUT CONSENT.

I, SAGEBBE HASAN, have reviewed and takes responsibility for the design DESIGNER under subsection 3.17.3 of the Ontario Building Code. These design activities relate to the construction of a home as defined under the Ontario New Home Warranties Plan Act. Permit #10050344



DRAWING TITLE	PROPOSED SITE PLAN
PROJECT NAME	1023 RIDGEMOUNT BLVD, OSHAWA, ON

BEYOND BUILDING ENGINEERING & CONSTRUCTION INC.
1103 DUNBARTON ROAD
PICKERING, ON, CANADA
L1V4P4

DRAWN BY	AMM	CHECKED BY	AMM
DATE	09/10/2023	REV	00
SCALE	1/8" = 1'-0"		
DRAWING NO.	A102		