



## Committee of Adjustment Meeting Agenda

**October 2, 2024, 6:00 p.m.  
Committee Meeting Room**

The personal information contained in your correspondence to Oshawa Committee of Adjustment is collected under the Municipal Act, 2001. Any personal information you choose to disclose in your correspondence will be used to receive your views on the relevant issue(s) to enable the City to make its decision on the matter. This information will become part of the public record.

If you have inquiries or accessibility needs and require alternate formats or other accommodations please contact Committee of Adjustment by telephone 905 436 3853 or by email at [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca) or in person.

Members of the public are invited to provide written comments regarding any application to the Secretary-Treasurer of the Committee of Adjustment and/or attend the public hearing to express your comments to submit correspondence concerning this matter. Please address your comments to [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca) by 4:30 p.m. on October 2, 2024 in order for your correspondence to be provided to Committee members.

The City of Oshawa's Committee of Adjustment Calendar webpage ([www.oshawa.ca/cofacalendar](http://www.oshawa.ca/cofacalendar)) shows upcoming meetings, agendas and a link to the live webstream player to enable easy access to view the meeting live.

### **Oshawa Committee of Adjustment**

The Committee of Adjustment has five members appointed by Council and its responsibilities and conduct are governed primarily by Ontario's Planning Act, and related Regulations.

Below are the members of the Committee of Adjustment:

Andrew Johnson  
Dean Lindsay  
Douglas Thomson  
Fred Eismont  
Vacant

The Committee of Adjustment considers all minor variances to the provisions of Zoning By-law 60-94, as amended, and extensions, enlargements or variations to existing legal non-conforming uses. The Committee of Adjustment also considers all consent applications for creation of new lots, lot additions, creation of easements, validation of title and long term leases.

## Land Acknowledgement

*The City of Oshawa is situated on lands within the traditional and treaty territory of the Michi Saagiig and Chippewa Anishinaabeg and the signatories of the Williams Treaties, which include the Mississaugas of Scugog Island, Curve Lake, Hiawatha and Alderville First Nations, and the Chippewas of Georgina Island, Rama and Beausoleil First Nations.*

*We are grateful for the Anishinaabeg who have cared for the land and waters within this territory since time immemorial. We recognize that Oshawa is steeped in rich Indigenous history and is now present day home to many First Nations, Inuit and Métis people. We express gratitude for this diverse group of Indigenous Peoples who continue to care for the land and shape and strengthen our community.*

*As a municipality, we are committed to understanding the truth of our shared history, acknowledging our role in addressing the negative impacts that colonization continues to have on Indigenous Peoples, developing reciprocal relationships, and taking meaningful action toward reconciliation.*

*We are all Treaty people.*

## Adoption of Committee Minutes

### Recommendation

That the minutes of the Committee of Adjustment meeting held on September 11, 2024 be adopted.

## Minor Variance Staff Reports

<b>A-2024-92 &amp; 93</b>	<b>215 Thornton Road North</b>	<b>Ward 4</b>
	D. G. Biddle and Associates on behalf of Holland Homes	
	To permit a single detached dwelling on each proposed lot with increased height and front yard encroachment for an unenclosed porch	
<b>A-2024-97</b>	<b>605 Roselawn Avenue</b>	<b>Ward 2</b>
	ER Real Estate Construction Inc. on behalf of Paul McGowan	
	To permit accessory buildings with increased lot coverage and ground floor area	
<b>A-2024-98</b>	<b>1356 Sunnybrae Crescent</b>	<b>Ward 5</b>
	Tanvir Rai on behalf of Nandini Mathur Vishal Dembi	
	To permit a semi-detached dwelling which may include an accessory apartment with reduced landscaped open space in the front yard, parking space width and partial tandem parking	

**A-2024-99      321 Anderson Avenue      Ward 4**

Peter Jaruczik on behalf of Tatra Valley Homes

To permit a semi-detached dwelling which may include two accessory apartments with reduced parking spaces, landscaped open space in the front yard and to partial tandem parking

**A-2024-100      371 Daytona Court      Ward 1**

Erica Fisher

To permit a semi-detached dwelling which may include an accessory apartment with reduced landscaped open space in the front yard, parking space length and width and all required parking partially in the front yard and all parking partially in the front yard

**A-2024-102 & 103      Various properties on Cayenne Street, Beckman Crescent,  
Hillborough Ave, Crystal Drive, Binbrook Drive      Ward 1**

Land Solutions Ontario on behalf of Oshawa (Conlin) Developments (BT) Inc.

To permit a total of thirty five (35) single detached dwellings with reduced landscaped open space in the front yard

**Combined Minor Variance and Consent Staff Reports**

**A-2024-87      3860 Simcoe Street North      Ward 1**

3950 Simcoe Street North Inc.

To permit a single detached dwelling with reduced lot area and increased lot coverage

**B-2024-37      3860 Simcoe Street North      Ward 1**

3950 Simcoe Street North Inc.

Consent to sever a parcel of land with an existing single detached dwelling, retaining an agricultural parcel of land, and to establish a temporary access easement over the severed lands in favour of the retained lands

**A-2024-96      0 Columbus Road West      Ward 1**

The Biglieri Group on behalf of Daniel Cook

To permit a residential parcel of land with reduced lot frontage

**B-2024-38 & 39      105 Columbus Road West**

**Ward 1**

The Biglieri Group on behalf of Daniel and Ellen Cook

Consent to sever a 0.18 hectare parcel of land for an addition to the lands to the south (0 Columbus Road West), retaining a 1.32 hectare parcel of land with an existing single detached dwelling and to sever a 3.05 hectare parcel of land for an addition to the lands to the west (105 Columbus Road West), retaining a 2.39 hectare parcel of land

**B-2024-44      140 and 342 Howden Road East**

**Ward 1**

Zachary Soccio-Marandola on behalf of Philip Robert Mackey

To permit the issuance of certificates of validation for the properties municipally addressed as 140 and 342 Howden Road East pursuant to Section 57 of the Planning Act, R.S.O. 1990, c.P.13 (the "Act").

If you wish a copy of the Decision and/or Notices of future Committee of Adjustment meetings concerning an application listed above, fill in the information below and return to the Secretary-Treasurer or send an email to [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca). Thank you.

**File Number:** \_\_\_\_\_

**Name:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Postal Code:** \_\_\_\_\_

**E-Mail Address:** \_\_\_\_\_



### Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on October 2, 2024 at 6:00 p.m. to consider the Committee of Adjustment Applications (Files A-2024-92 & A-2024-93) submitted by **D.G. Biddle & Associates Limited on behalf of Holland Homes** for **215 Thornton Road North** (PL 370 SHEET 16C PT LT 15 RP 40R-31216 PT 17), Oshawa for minor variances from the City’s Zoning By-law 60-94.

**Purpose and Effect:** The purpose and effect of the applications is to permit a single detached dwelling on each proposed lot with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a single detached dwelling in an R1-C (Residential) Zone.

Zoning Item	Column 1	Column 2
Maximum Height of the Main Building	11.6m	9m
Maximum Front Yard Encroachment Permitted for an Unenclosed Porch	3.1m	2.4m

The subject site is also subject to an application for Consent (File B-2024-09).

You have been sent this notice because you own land close to the subject property.

#### Meeting

This public meeting is open to the public and will take place in person in the C-Wing Committee Room, Oshawa City Hall, 50 Centre Street South. Members of the public wishing to verbally address the Committee through electronic means rather than appear in-person to make a delegation are required to submit their request to the City Contact shown below by 4:30 p.m. on September 30, 2024.

Members of the public are invited to submit correspondence concerning this matter. Please address your comments to the City Contact shown below by 4:30 p.m. on October 2, 2024 in order for your correspondence to be provided to Committee members for the October 2, 2024 public meeting.

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**City Contact:** Deb Dutta, Oshawa City Hall, 50 Centre Street South, Oshawa, Ontario L1H 3Z7 or by telephone at 905-436-3311, extension 2376 or by email to [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca).

**How to submit written comments:** Written comments to the Committee must be received no later than 4:30 pm on October 2, 2024. Submissions are accepted by email at [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca) or by mailing the Committee of Adjustment at the address shown above. Please include your name, your address and application number or address of the property you are providing comments on.

**To Obtain Additional information:** For more information, contact the City Contact as shown above between 8:30 am and 4:30 pm Monday to Friday.

**To Access the Report:** A copy of the staff report is available by contacting the City Contact as shown above, after 3:00 pm, on September 27, 2024 or any day thereafter.

**Accessibility:** The City of Oshawa is committed to providing services as set out in the Accessibility for Ontarians with Disabilities Act, 2005. If you have accessibility needs and require alternate formats or other accommodations please contact the City Contact as shown above no later than September 30, 2024. Advance requests are highly encouraged to enable us to meet your needs adequately.

**Freedom of Information and Protection of Privacy Act:** Information will be collected in accordance with the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record.

This Notice issued September 20, 2024.

Address: 215 Thornton Road North

Economic and Development Services  
City of Oshawa  
OSHAWA

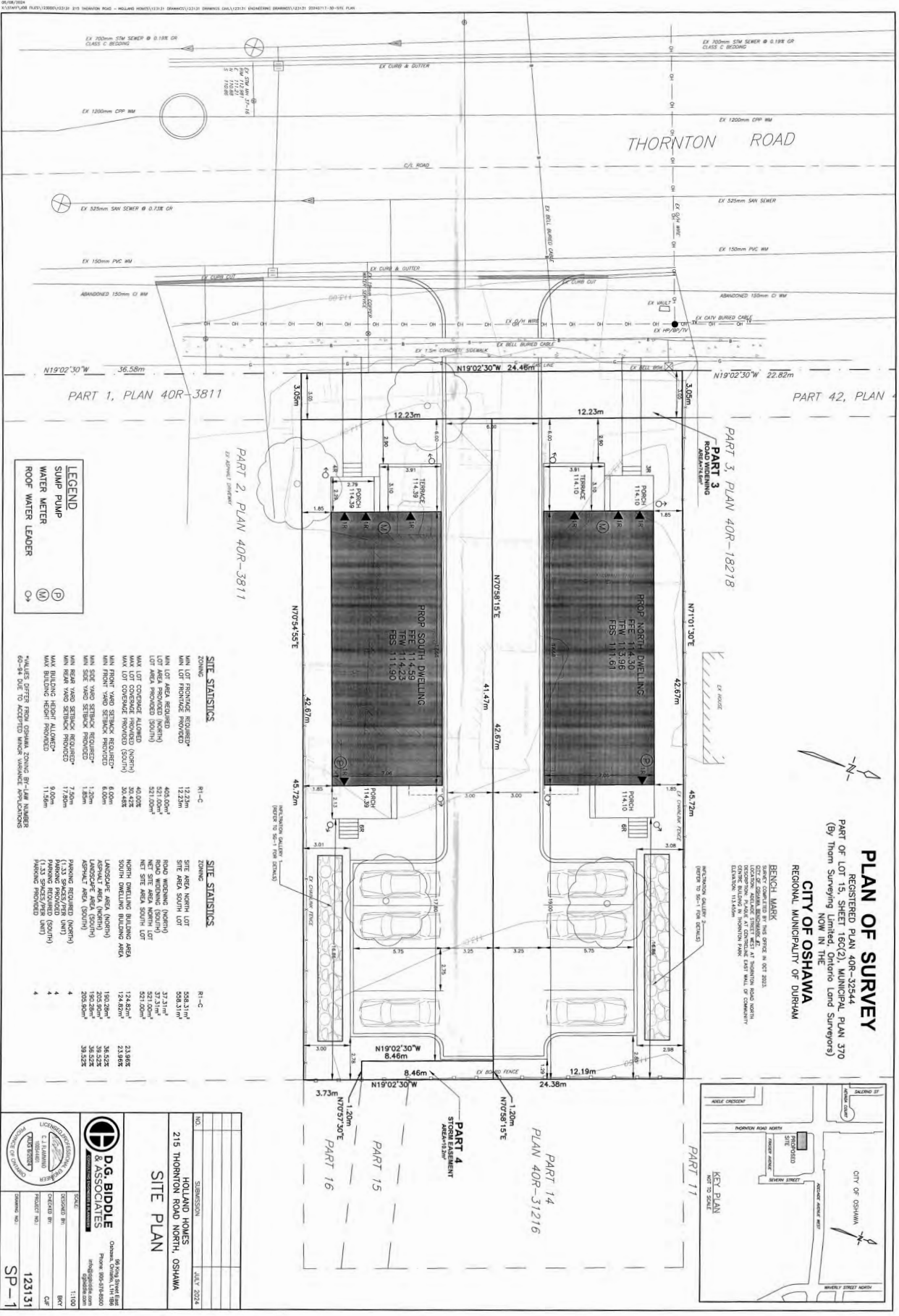


**PLAN OF SURVEY**

REGISTERED PLAN 40R-12544  
PART OF LOT 15, SHEET 16(2), MUNICIPAL PLAN 370  
(By Thom Surveying Limited, Ontario Land Surveyors)  
NOW IN THE  
**CITY OF OSHAWA**  
REGIONAL MUNICIPALITY OF DURHAM

**BENCH MARK**

SHAW'S CORNER BY THE OFFICE IN OCT 2022  
LOCATION: ADJACENT STREET WEST AT THORNTON ROAD NORTH,  
CENTRE BUILDING IN THORNTON PARK  
ELEVATION: 124.80m



PART 1, PLAN 40R-3811

PART 2, PLAN 40R-3811

PART 3, PLAN 40R-18218

PART 4, STORAGE AREA

PART 14, PLAN 40R-31216

PART 15

PART 16

**LEGEND**

- SWAMP PUMP
- WATER METER
- ROOF WATER LEADER

**SITE STATISTICS**

PARAMETER	VALUE
ZONING	R1-C
MIN LOT FRONTAGE REQUIRED*	12.23m
MIN LOT AREA REQUIRED*	454.00m <sup>2</sup>
LOT AREA PROVIDED (NORTH)	521.00m <sup>2</sup>
LOT AREA PROVIDED (SOUTH)	521.00m <sup>2</sup>
MAX LOT COVERAGE ALLOWED (NORTH)	40.00%
MAX LOT COVERAGE PROVIDED (SOUTH)	30.48%
MIN FRONT YARD SETBACK REQUIRED*	6.00m
MIN FRONT YARD SETBACK PROVIDED*	6.00m
MIN SIDE YARD SETBACK REQUIRED*	1.20m
MIN SIDE YARD SETBACK PROVIDED*	1.20m
MIN REAR YARD SETBACK REQUIRED*	7.50m
MIN REAR YARD SETBACK PROVIDED*	9.20m
MAX BUILDING HEIGHT ALLOWED*	11.50m
MAX BUILDING HEIGHT PROVIDED	9.20m

**SITE STATISTICS**

PARAMETER	VALUE
ZONING	R1-C
SITE AREA NORTH LOT	508.31m <sup>2</sup>
SITE AREA SOUTH LOT	508.31m <sup>2</sup>
ROAD WIDENING (NORTH)	37.31m <sup>2</sup>
ROAD WIDENING (SOUTH)	37.31m <sup>2</sup>
NET SITE AREA NORTH LOT	521.00m <sup>2</sup>
NET SITE AREA SOUTH LOT	521.00m <sup>2</sup>
NORTH DWELLING BUILDING AREA	124.82m <sup>2</sup>
SOUTH DWELLING BUILDING AREA	124.82m <sup>2</sup>
LANDSCAPE AREA (NORTH)	36.52%
LANDSCAPE AREA (SOUTH)	36.52%
APPROX. AREA (SOUTH)	190.28m <sup>2</sup>
APPROX. AREA (NORTH)	190.28m <sup>2</sup>
PARKING REQUIRED (NORTH)	21.88%
PARKING REQUIRED (SOUTH)	21.88%
PARKING PROVIDED (NORTH)	39.52%
PARKING PROVIDED (SOUTH)	39.52%

**D.G. BIDDLE**  
 ENGINEER  
 86 King Street East  
 Oshawa, Ontario L1G 1K1  
 Phone: 905-818-8800  
 info@dgbs.com  
 dgbs.com

SUBMISSION NO. 123131  
 DATE: JULY 2024  
 PROJECT NO. 123131  
 CLIENT: HOLLAND HOLES  
 215 THORNTON ROAD NORTH, OSHAWA

**SITE PLAN**





## **Notice of Hearing under the Planning Act Concerning an Application for Minor Variances**

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on October 2, 2024 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2024-97**) submitted by **ER Real Estate Construction Inc. on behalf of Paul McGowan** for **605 Roselawn Avenue** (PL 520 LT 5), Oshawa for minor variances from the City’s Zoning By-law 60-94.

**Purpose and Effect:** The purpose and effect of the application is to permit accessory buildings ancillary to a single detached dwelling with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for accessory buildings ancillary to a single detached dwelling in an R1-F (Residential) Zone.

<b>Zoning Item</b>	<b>Column 1</b>	<b>Column 2</b>
Maximum Lot Coverage of All Accessory Buildings as a percentage of the Main Building	102%	50%
Maximum Ground Floor Area of All Accessory Buildings	159 sq.m.	60 sq.m.

You have been sent this notice because you own land close to the subject property.

### **Meeting**

This public meeting is open to the public and will take place in person in the C-Wing Committee Room, Oshawa City Hall, 50 Centre Street South. Members of the public wishing to verbally address the Committee through electronic means rather than appear in-person to make a delegation are required to submit their request to the City Contact shown below by 4:30 p.m. on September 30, 2024.

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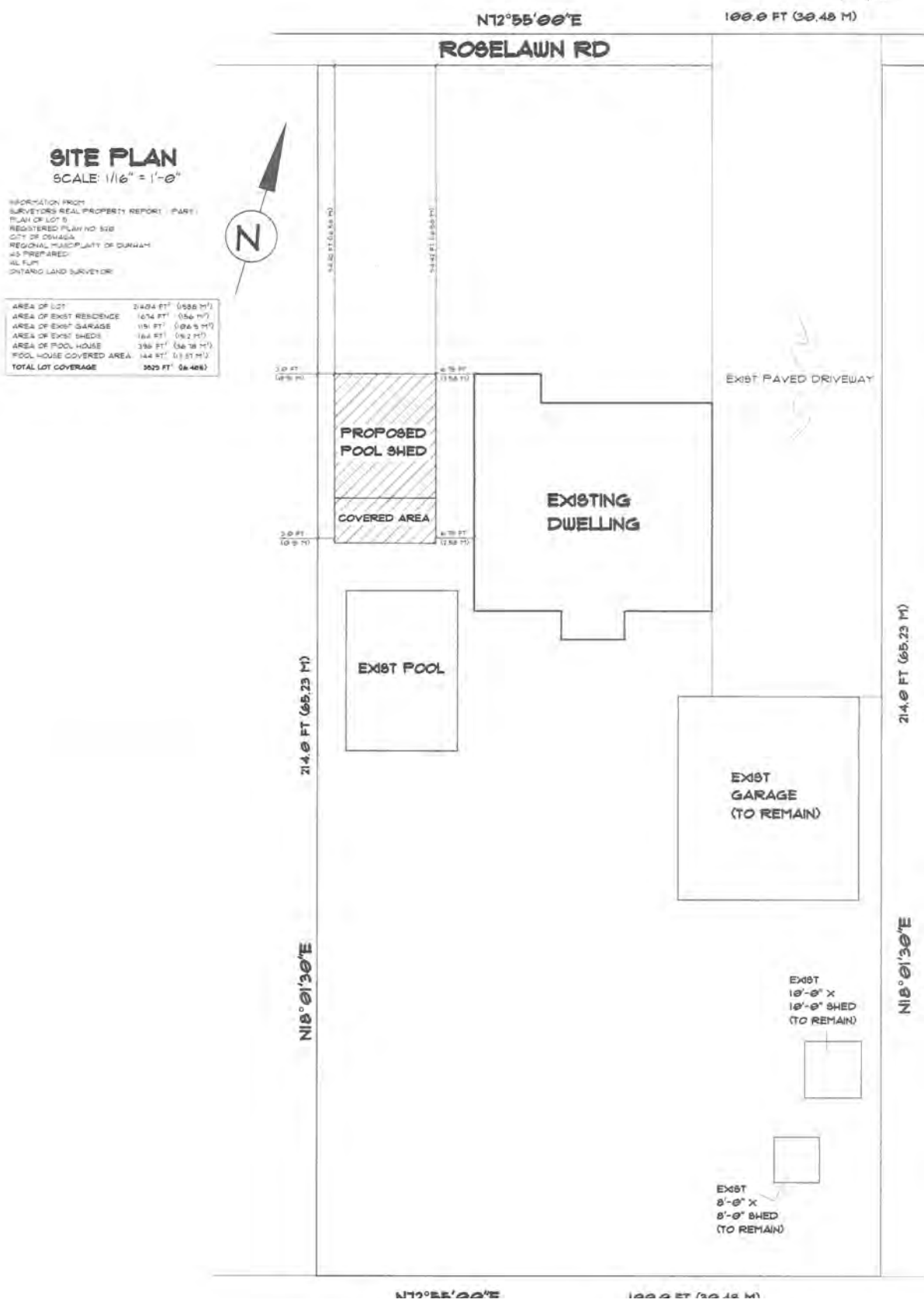
**Freedom of Information and Protection of Privacy Act:** Information will be collected in accordance with the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record.

This Notice issued September 20, 2024.

Address: 605 Roselawn Avenue



City of Oshawa  
Economic and Development Services





## Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on October 2, 2024 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2024-98**) submitted by **Tanvir Rai on behalf of Nandini Mathur Vishal Dembi** for **1356 Sunnybrae Crescent** (PL M1177 PT LT 21 NOW RP 40R-6463 PT 7), Oshawa for minor variances from the City’s Zoning By-law 60-94.

**Purpose and Effect:** The purpose and effect of the application is to permit a semi-detached dwelling which may include an accessory apartment with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a semi-detached dwelling in a R2 (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Landscaped Open Space in the Front Yard	40%	50%
Minimum Parking Space Width	2.45m	2.75m
Partial Tandem Parking for Separate Units	To Permit	Not Permitted

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### Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on October 2, 2024 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2024-99**) submitted by **Peter Jaruczik on behalf of Tatra Valley Homes** for **321 Anderson Avenue** (PL 337 SHEET 13C1 PT LT 27), Oshawa for minor variances from the City's Zoning By-law 60-94.

**Purpose and Effect:** The purpose and effect of the application is to permit a semi-detached dwelling with accessory apartments with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a semi-detached dwelling in a R3-A/R5-B (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Number of Parking Spaces for a Semi-Detached Dwelling with Two Accessory Apartments	3	4
Minimum Landscaped Open Space in the Front Yard	44%	50%
Partial Tandem Parking for Separate Units	To Permit	Not Permitted

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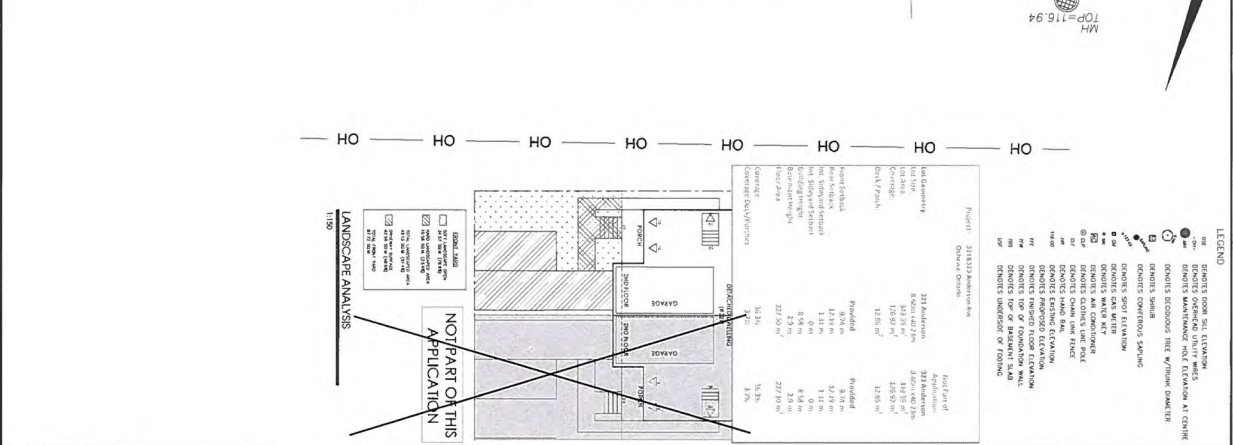
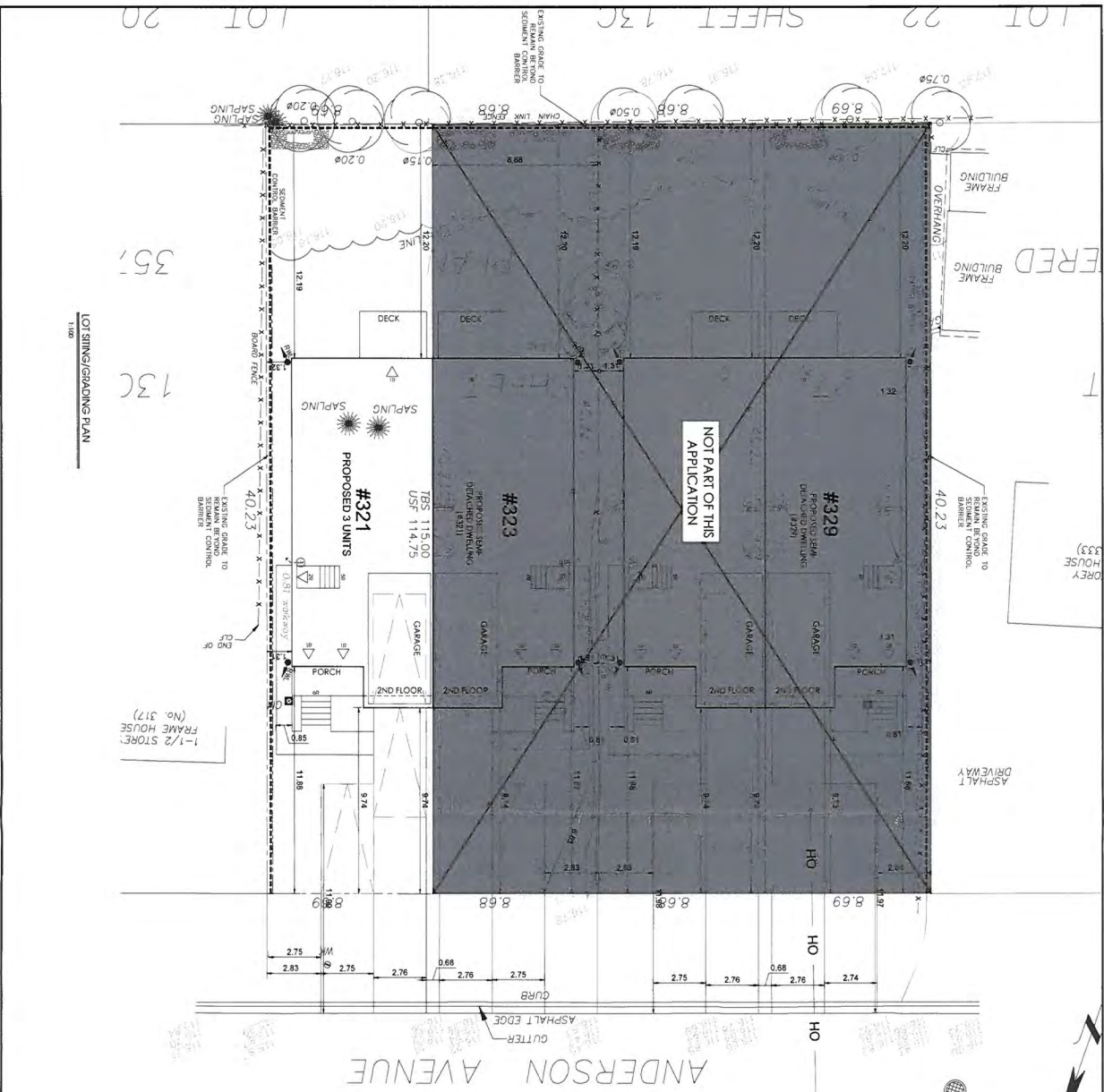
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Address: 321 Anderson Avenue

City of Oshawa  
Economic and Development Services



**NOT PART OF THIS APPLICATION**

**adg**  
Arc Design Group  
321 ANDERSON AVENUE  
OSHAWA, ONTARIO

**PROJECT:** SEMI-DETACHED DEVELOPMENT  
321 ANDERSON AVENUE  
OSHAWA, ONTARIO

**DATE:** 23-05-01

**SCALE:** AS NOTED

**ENGINEER:** P.J. DATE: SEPT 4, 2024

**SHEET TITLE:** LOT SITING & GRADING PLAN

**PROJECT NO.:** 23-005-01

**DATE:** SP



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**Purpose and Effect:** The purpose and effect of the application is to permit a semi-detached dwelling which may include an accessory apartment with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for an R2 (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Landscaped Open Space in the Front Yard	41%	50%
Minimum Parking Space Length	5.4m	5.75m
Minimum Parking Space Width	2.55m	2.75m
Parking Space Location	Partially in a Side Yard, Rear Yard or in a Garage	Fully in a Side yard, Rear Yard or in a Garage

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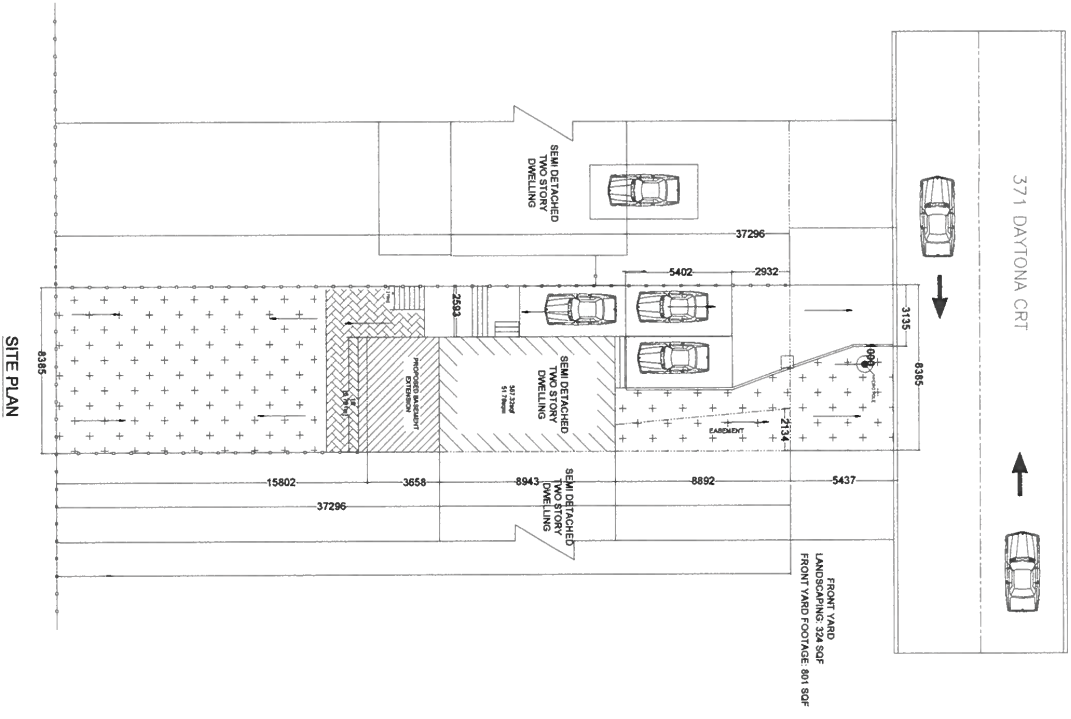
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Address: 371 Daytona Court

City of Oshawa  
Economic and Development Services



SITE PLAN



**GrandDesign Engineering Inc**  
49 Ball crescent whitby on L1P 1W5

Tel : (289)992-7484 Email : mohammad@grandesign.ca

TITLE: BASEMENT EXTENSION ARCHITECT:

ADDRESS: 371 DAYTONA COURT OSHAWA DETAIL:

CLIENT: ERICA FISHER

MOH	DATE: Aug. 09 2024	SCALE: N/A	CONT. NO. 2430
REVISION: R2	DATE: SEP. 08 2024	REF: AA	A1.00 SITE PLAN



Committee of Adjustment

Files: **A-2024-102 & 103**

Ward: **1**

## **Notice of Hearing under the Planning Act Concerning Applications for a Minor Variance**

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on October 2, 2024 at 6:00 p.m. to consider the Committee of Adjustment Applications (Files **A-2024-102 & A-2024-103**) submitted by **Land Solutions Ontario on behalf of Oshawa (Conlin) Developments (BT) Inc.** for **2217, 2218, 2221, 2222, 2225, 2226 and 2229 Cayenne Street, 2212, 2216, 2220, 2224, 2227, 2231, 2235 and 2236 Beckman Crescent, 1397, 1401, 1405, 1409 and 1413 Hillborough Ave, 2118, 2138, 2134, 2130, 2126 and 2122 Crystal Drive, and 2119, 2123, 2127, 2131, 2135, 2139 and 2143 Binbrook Drive** (PL 40M-2763 LTS 47 to 54, 67 to 70, 73 to 77, 96 to 100, 116 to 121 and 126 to 132), Oshawa for a minor variance from the City's Zoning By-law 60-94.

### **Purpose and Effect:**

**A-2024-102:** The purpose and effect of the application is to permit two (2) single detached dwellings with a minimum landscaped open space of 38% in the front yard (Lots 49 and 50), whereas Zoning By-law 60-94 requires a minimum landscaped open space in the front yard of 50% for a single detached dwelling in a R1-E(31) (Residential) Zone.

**A-2024-103:** The purpose and effect of the application is to permit thirty-three (33) single detached dwellings with a minimum landscaped open space of 44% in the front yard (Lots 47, 48, 51 to 54, 67 to 70, 73 to 77, 96 to 100, 116 to 121 and 126 to 132), whereas Zoning By-law 60-94 requires a minimum landscaped open space in the front yard of 50% for a single detached dwelling in a R1-E(31) (Residential) Zone.

You have been sent this notice because you own land close to the subject property.

### **Meeting**

This public meeting is open to the public and will take place in person in the C-Wing Committee Room, Oshawa City Hall, 50 Centre Street South. Members of the public wishing to verbally address the Committee through electronic means rather than appear in-person to make a delegation are required to submit their request to the City Contact shown below by 4:30 p.m. on September 30, 2024.

Members of the public are invited to submit correspondence concerning this matter. Please address your comments to the City Contact shown below by 4:30 p.m. on October 2, 2024 in order for your correspondence to be provided to Committee members for the October 2, 2024 public meeting.

The City of Oshawa's Committee of Adjustment Calendar webpage ([www.oshawa.ca/cofacalendar](http://www.oshawa.ca/cofacalendar)) show upcoming meetings, agendas and a link to the live webstream player to enable easy access to view the meeting live.

**City Contact:** Deb Dutta, Oshawa City Hall, 50 Centre Street South, Oshawa, Ontario L1H 3Z7 or by telephone at 905-436-3311, extension 2376 or by email to [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca).

**How to submit written comments:** Written comments to the Committee must be received no later than 4:30 pm on October 2, 2024. Submissions are accepted by email at [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca) or by mailing the Committee of Adjustment at the address shown above. Please include your name, your address and application number or address of the property you are providing comments on.

**To Obtain Additional information:** For more information, contact the City Contact as shown above between 8:30 am and 4:30 pm Monday to Friday.

**To Access the Report:** A copy of the staff report is available by contacting the City Contact as shown above, after 3:00 pm, on September 27, 2024 or any day thereafter.

**Accessibility:** The City of Oshawa is committed to providing services as set out in the Accessibility for Ontarians with Disabilities Act, 2005. If you have accessibility needs and require alternate formats or other accommodations please contact the City Contact as shown above no later than September 30, 2024. Advance requests are highly encouraged to enable us to meet your needs adequately.

**Freedom of Information and Protection of Privacy Act:** Information will be collected in accordance with the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record.

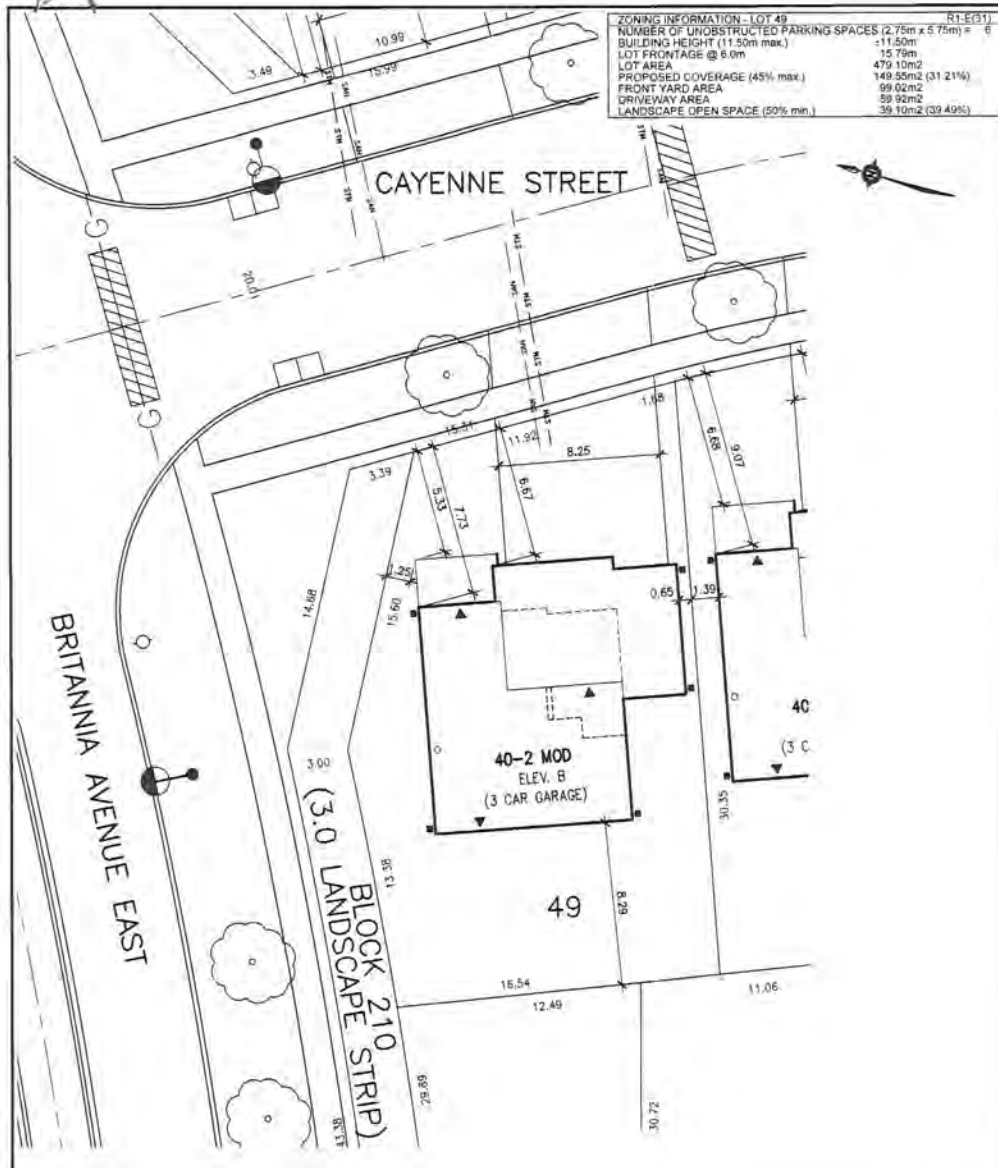
This Notice issued September 20, 2024.



Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



ZONING INFORMATION - LOT 49		R1-EB31
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) =		6
BUILDING HEIGHT (11.50m max.)		~11.50m
LOT FRONTAGE @ 8.0m		15.79m
LOT AREA		479.10m <sup>2</sup>
PROPOSED COVERAGE (45% max.)		149.55m <sup>2</sup> (31.21%)
FRONT YARD AREA		99.02m <sup>2</sup>
DRIVEWAY AREA		59.92m <sup>2</sup>
LANDSCAPE OPEN SPACE (50% min.)		39.10m <sup>2</sup> (32.49%)

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
 THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES; IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.  
 NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.  
 THE AS-CONSTRUCTED SEWER INVERTS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL. THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT DITCH/BASIN AND LEAD PRIOR TO POURING FOOTINGS.  
 EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF FINISHED FLOOR ELEVATION	— W/S SERVICE LATERAL	⊕ SLUMP PUMP
UF UNDERSIDE FOOTING ELEVATION	— WATER SERVICE	⊕ COMMUNITY MAILBOX
BF FIN. BASEMENT FLOOR SLAB	— SAN — DOUBLE SAN CONNECTION	⊕ RAIN WATER DRAIN/SPILT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW TOP OF FOUNDATION WALL	— SAN — SINGLE SAN CONNECTION	⊕ SWALE DIRECTION
LRF UNDERSIDE FOOTING AT REAR	— SAN — SINGLE STM CONNECTION	⊕ EMBANKMENT 3:1 SLOPE
LFF UNDERSIDE FOOTING AT FRONT	— H — HYDRANT	⊕ THIS LOT CONTAINS ENGINEERED FILL
MBE MINIMUM BASEMENT ELEVATION	— CB — DATCH/BASIN	⊕ R/C LEAD PRESENT CAUTION WHEN EXCAVATING
WOB WALK OUT BASEMENT	— H — HYDRANT	⊕ RETAINING WALL
WIB WALK UP BASEMENT	— V — PROPOSED VALVE	⊕ PRIVATE FENCE (SEE LANDSCAPE PLAN)
REV REVERSE PLAN	— T — TRAP/DRINK	⊕ CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
ED EXTERIOR DOOR LOCATION	— S — STREETLIGHT POLE	
SW SIDE WINDOW LOCATION	— B — BELL PEDESTAL	
FD FLOOR DRAIN	— G — GRADE LEVEL BELL BOX	
AC AIR CONDITIONER	— R — ROGERS VALVE	
RY REAR YARD UPGRADE	— C — ROGERS CABINET WITH VAULT	
SYU SIDE YARD UPGRADE		

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.  
 Individual BCIN: 20193

*Tony Palumbo*

**Treasure Hill**  
 1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS, CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
 REGISTERED PLAN No: 40M-2763  
 LOT: 49**

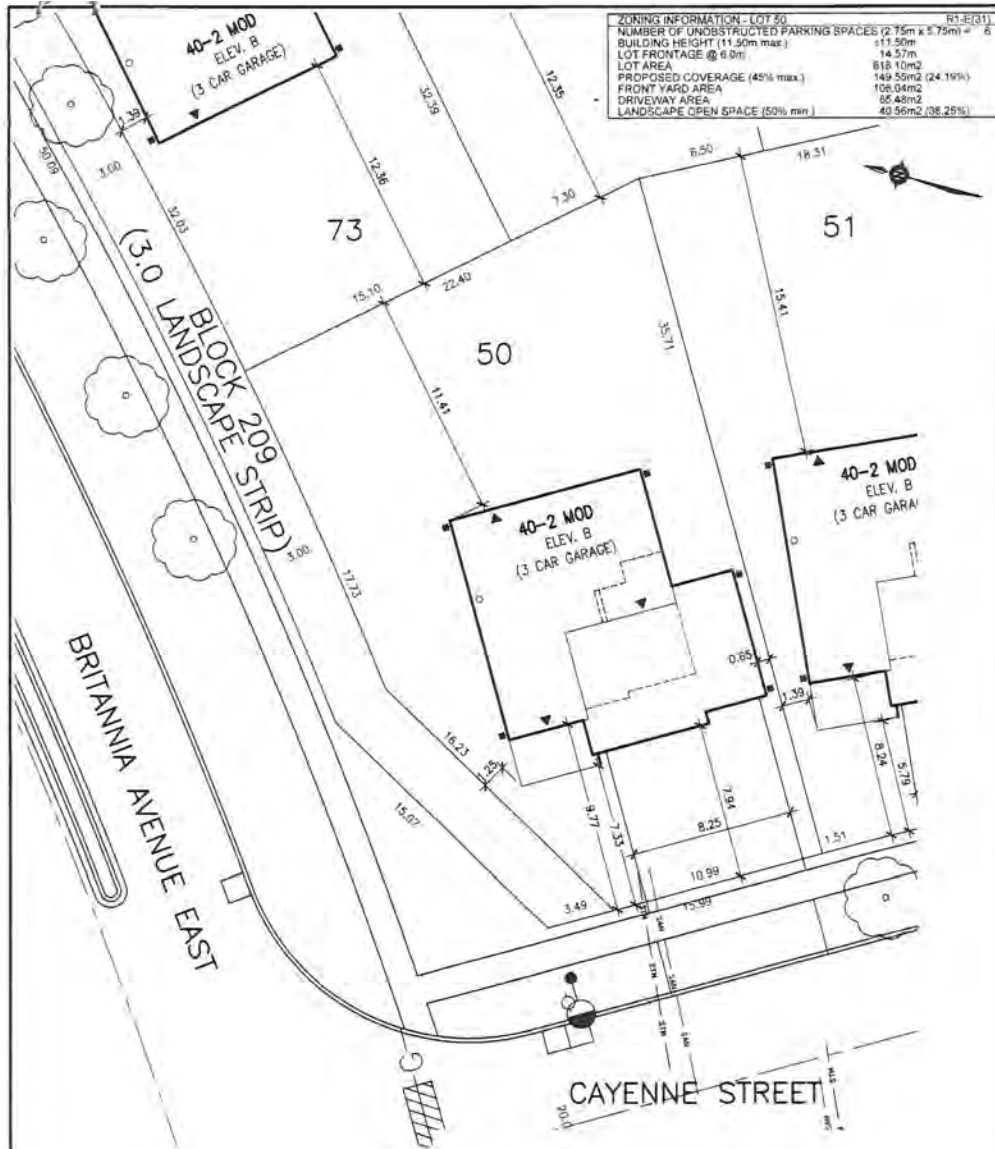
Date: SEPT 06/24  
 Drawn by: TP  
 Scale: 1:250



Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



**ZONING INFORMATION - LOT 50** R1-32(31)

NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) =	6
BUILDING HEIGHT (11.50m max) =	11.50m
LOT FRONTAGE @ 6.0m =	14.57m
LOT AREA =	618.10m <sup>2</sup>
PROPOSED COVERAGE (45% max.) =	149.55m <sup>2</sup> (24.19%)
FRONT YARD AREA =	108.04m <sup>2</sup>
DRIVEWAY AREA =	65.48m <sup>2</sup>
LANDSCAPE OPEN SPACE (50% min) =	40.56m <sup>2</sup> (36.25%)

NOTE: DRIVEWAYS ARE TO BE 1.3m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
 THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER LINES PRIOR TO THE POURING OF FOOTINGS.  
 NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.  
 NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.  
 THE ASSOCIATED SEWER INVERTS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL. THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER LINES PRIOR TO THE POURING OF FOOTINGS.  
 BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.  
 EXTENDED FOOTINGS FOR RAISED LINTH: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF FINISHED FLOOR ELEVATION	WATER SERVICE LATERAL	SLUMP PUMP
UF UNDERSIDE FOOTING ELEVATION	WATER SERVICE	COMMUNITY MAILBOX
RF FIN. BASEMENT FLOOR SLAB	DOUBLE SAN. CONNECTION	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW TOP OF FOUNDATION WALL	SAN - SINGLE SAN. CONNECTION	SWALE DIRECTION
URK UNDERSIDE FOOTING AT REAR	CATCH BASIN	EMBANKMENT 3:1 SLOPE
URF UNDERSIDE FOOTING AT FRONT	HYDRANT	THIS LOT CONTAINS ENGINEERED FILL
MBE MINIMUM BASEMENT ELEVATION	PROPOSED VALVE	FILL LEAD PRESENT CAUTION WHEN EXCAVATING
WOB WALK OUT BASEMENT	TRANSFORMER	RETAINING WALL
WBK WALK UP BASEMENT	STREETLIGHT POLE	PRIVACY FENCE (SEE LANDSCAPE PLAN)
REV REVERSE PLAN	BELL PEDestal	CHAIN LINK FENCE
WOC WALK OUT CATCH BASIN	GRADE LEVEL BELL BOX	
WID WIDE WINDOW LOCATION	ROGERS WALL	
WLD WINDOW LOCATION	ROGERS CABINET WITH VALVE	
D PD		
AC AIR CONDITIONER		
RTU REAR YARD UPGRADE		
YU YARD UPGRADE		

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C. of the Building Code.  
 Individual BCIN: 20193

Signature: *Tony Palumbo*

**Treasure Hill**

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS.**  
**CITY OF OSHAWA**

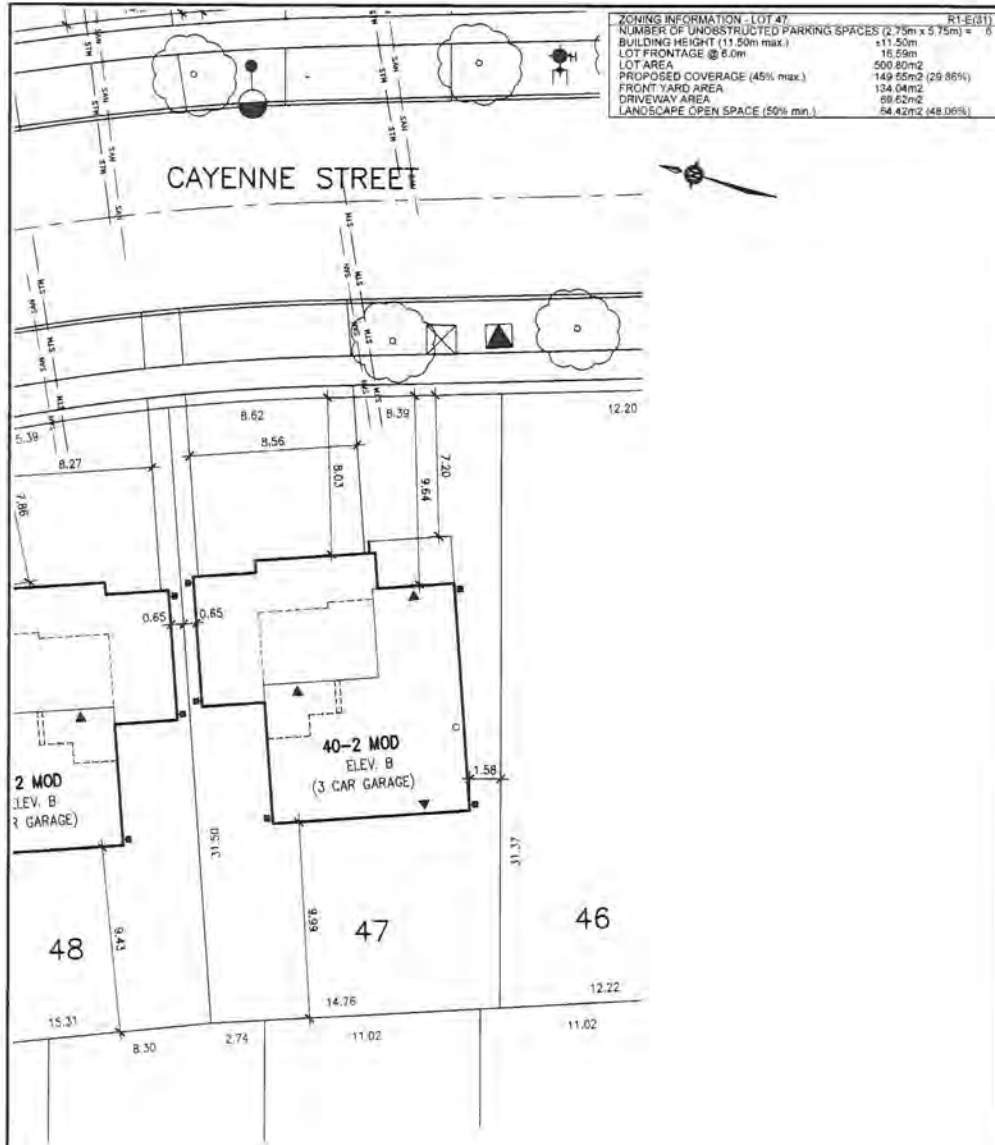
Sheet Title:  
**LOT SITING PLAN**  
**REGISTERED PLAN No: 40M-2763**  
**LOT: 50**

Date: **SEPT 06/24** Drawn by: **TP** Scale: **1:250**

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



ZONING INFORMATION - LOT 47	
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) =	0
BUILDING HEIGHT (11.50m max.)	±11.50m
LOT FRONTAGE @ 8.0m	16.59m
LOT AREA	500.80m <sup>2</sup>
PROPOSED COVERAGE (45% max.)	149.55m <sup>2</sup> (29.86%)
FRONT YARD AREA	134.04m <sup>2</sup>
DRIVEWAY AREA	88.02m <sup>2</sup>
LANDSCAPE OPEN SPACE (50% min.)	54.42m <sup>2</sup> (48.06%)

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
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FF	FINISHED FLOOR ELEVATION	—	HYDRO SERVICE LATERAL	⊕	SEWER PUMP
UF	UNDERSIDE FOOTING ELEVATION	—	WATER SERVICE	⊕	COMMUNITY MANHOLE
BF	FIN. BASEMENT FLOOR SLAB	—	—	—	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ON TO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	—	—	—	SWALE DIRECTION
URF	UNDERSIDE FOOTING AT REAR	—	—	—	EMBANKMENT 3:1 SLOPE
UFF	UNDERSIDE FOOTING AT FRONT	—	—	—	THIS LOT CONTAINS ENGINEERED FILL
MSE	MINIMUM BASEMENT ELEVATION	—	—	—	FLOOD LEAD PRESENT CAUTION WHEN EXCAVATING
WB	WALK UP BASEMENT	—	—	—	RETAINING WALL
REV	REVERSE PLAN	—	—	—	PERIMETER FENCE (SEE LANDSCAPE PLAN)
△	EXTERIOR DOOR LOCATION	—	—	—	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
○	SIDE WINDOW LOCATION	—	—	—	—
□	ELECTRICAL	—	—	—	—
AC	AIR CONDITIONER	—	—	—	—
RVU	REAR YARD UPGRADE	—	—	—	—
SYU	SIDE YARD UPGRADE	—	—	—	—

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 Signature: *Tony Palumbo*

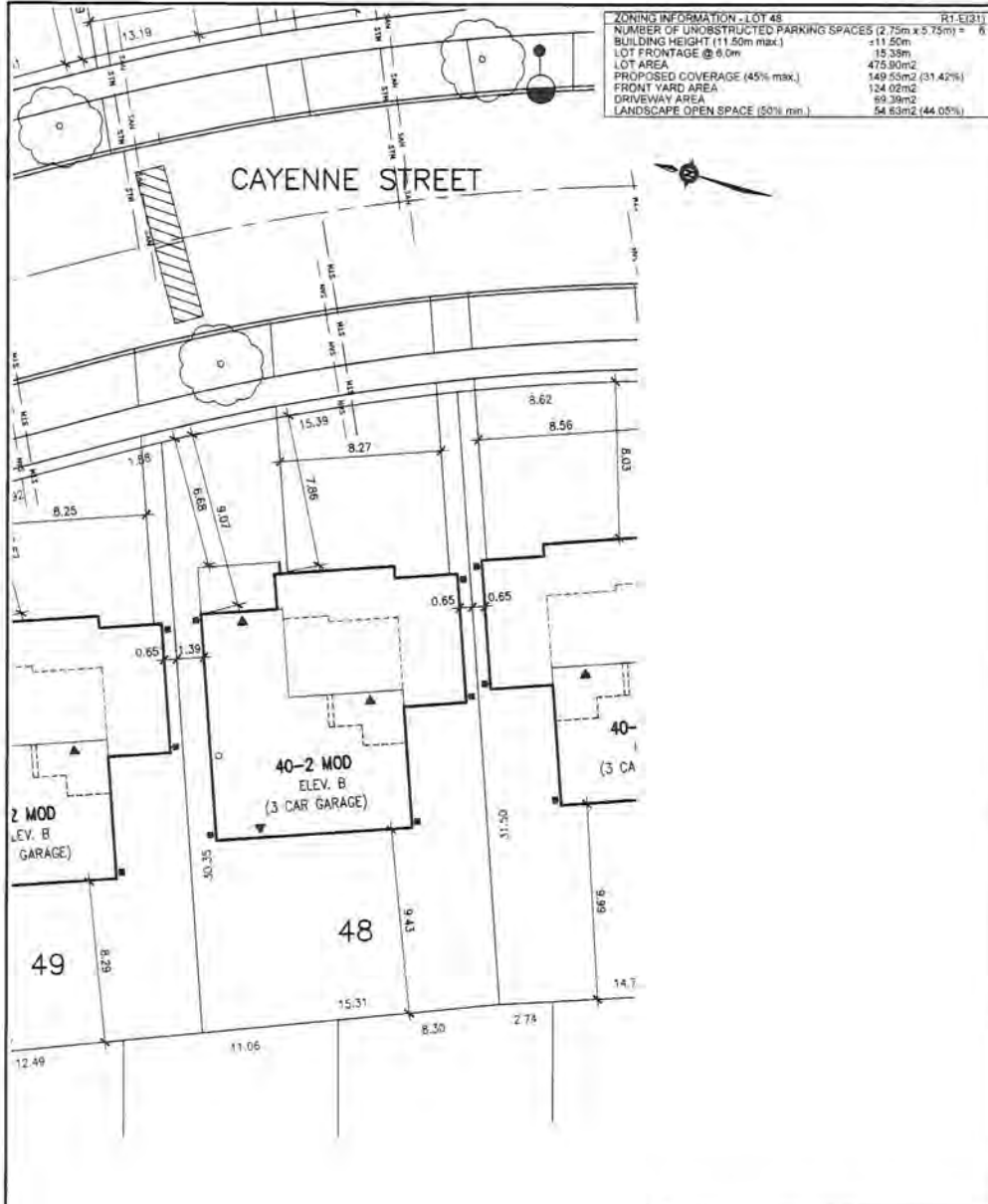
**Treasure Hill**  
 1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS.**  
**CITY OF OSHAWA**  
 Sheet Title:  
**LOT SITING PLAN**  
**REGISTERED PLAN No: 40M-2763**  
**LOT: 47**  
 Date: SEPT. 06/24  
 Drawn by: TP  
 Scale: 1:250

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



ZONING INFORMATION - LOT 48		R1-E(3)
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) =	8	
BUILDING HEIGHT (11.50m max.)	± 11.50m	
LOT FRONTAGE @ 9.0m	15.33m	
LOT AREA	475.90m <sup>2</sup>	
PROPOSED COVERAGE (45% max.)	149.53m <sup>2</sup> (31.42%)	
FRONT YARD AREA	124.02m <sup>2</sup>	
DRIVEWAY AREA	89.39m <sup>2</sup>	
LANDSCAPE OPEN SPACE (50% min.)	54.63m <sup>2</sup> (44.05%)	

NOTE: DRIVEWAYS ARE TO BE 1.2M CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
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 EXTENDED FOOTINGS FOR RAISED UNITS, UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF FINISHED FLOOR ELEVATION	HYDRO SERVICE LATERAL WATER SERVICE	SEWER PUMP
UF UNDERSIDE FOOTING ELEVATION	DOUBLE SAN. CONNECTION	COMMUNITY MAIL BOX
BF FIN. BASEMENT FLOOR SLAB	SINGLE SAN. CONNECTION	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW TOP OF FOUNDATION WALL	SINGLE STW CONNECTION	SWALE DIRECTION
UF# UNDERSIDE FOOTING AT REAR	CATCH BASIN	EMBANKMENT 3:1 SLOPE
UF# UNDERSIDE FOOTING AT FRONT	HYDRANT	THIS LOT CONTAINS ENGINEERED FILL
MBE MINIMUM BASEMENT ELEVATION	PROPOSED VALVE	AL CAL LEAD PRESENT CAUTION WHEN EXCAVATING
WBE WALK OUT BASEMENT	TRANSFORMER	RETAINING WALL
WUB WALK UP BASEMENT	STREETLIGHT POLE	PRIVACY FENCE (SEE LANDSCAPE PLAN)
REV REVERSE PLAN	BELL PEDESTAL	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
ED EXTERIOR DOOR LOCATION	GRADE LEVEL BELL BOX	
SD SIDE WINDOIN LOCATION	ROGERS VALVE	
FD FLOOR FINISH	ROGERS CABINET WITH VALVE	
AC AIR CONDITIONER		
RYU REAR YARD UPGRADE		
SYU SIDE YARD UPGRADE		

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.  
 Individual BCIN: 20193

*Tony Palumbo*  
 Signature  
**Treasure Hill**  
 1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS.**  
**CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN**  
**REGISTERED PLAN No: 40M-2763**  
**LOT: 48**

Date: SEPT 06/24  
 Drawn by: TP  
 Scale: 1:250



Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.

THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.

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EXTENDED FOOTINGS FOR RAISED UNITS UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUSTAINABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

Legend for symbols: FF FINISHED FLOOR ELEVATION, UF UNDERSIDE FOOTING ELEVATION, BF FIN. BASEMENT FLOOR SLAB, TPW TOP OF FOUNDATION WALL, URF UNDERSIDE FOOTING AT REAR, UFF UNDERSIDE FOOTING AT FRONT, MBE MINIMUM BASEMENT ELEVATION, WCB WALK-OUT BASEMENT, WUB WALK-UP BASEMENT, REV REVERSE PLAN, EDL EXTERIOR DOOR LOCATION, SWL SIDE WINDOW LOCATION, FLD FLOOR DRAIN, AC AIR CONDITIONER, RYU REAR YARD UPGRADE, SYU SIDE YARD UPGRADE.

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.  
Individual BCIN: 20193  
*Tony Palumbo*  
Signature

**Treasure Hill**  
1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
REGISTERED PLAN No: 40M-2763  
LOT: 51**

Date: SEPT. 06/24 Drawn by: TP Scale: 1:250

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.  
 Individual BCIN: 20193

*Tony Palumbo*  
 Signature

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 1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
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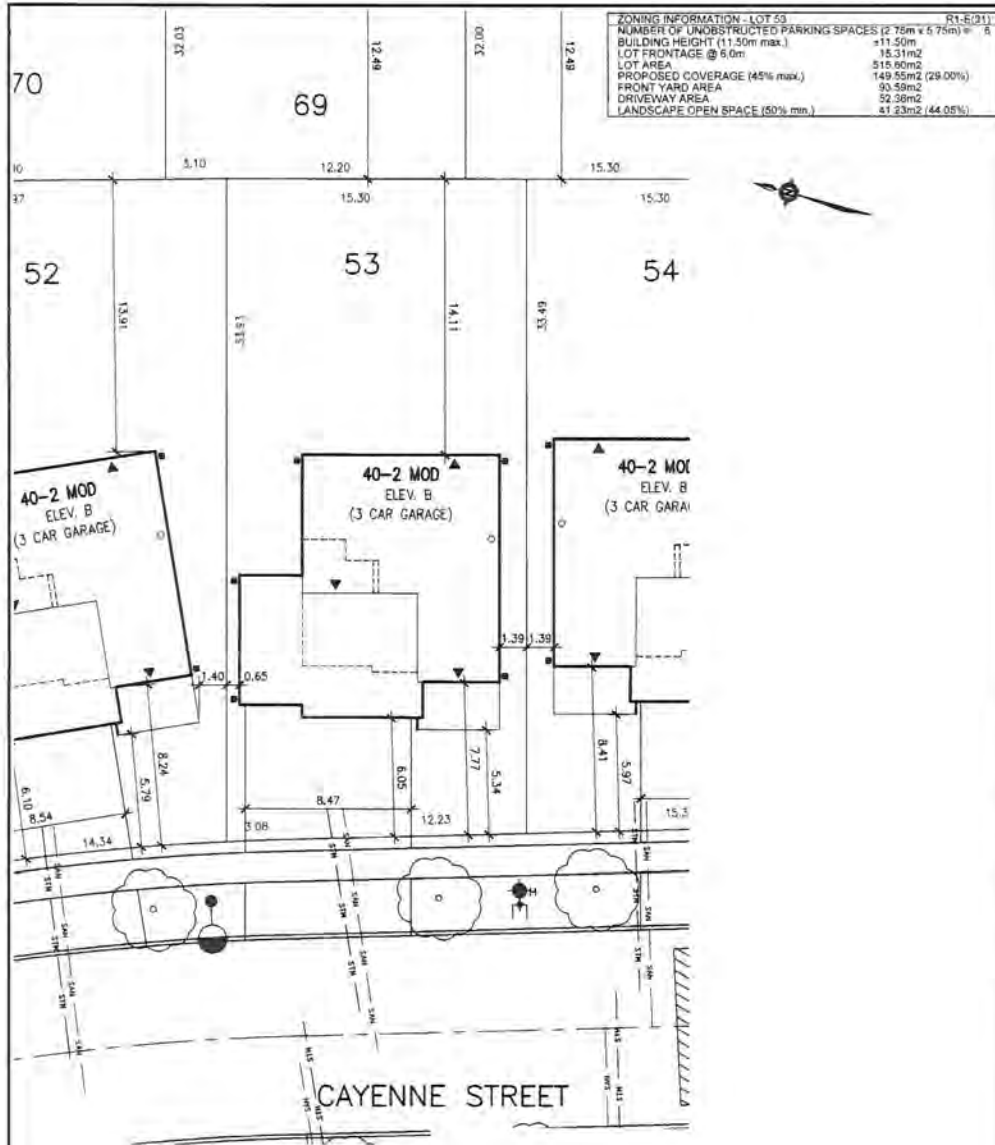
Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS, CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN REGISTERED PLAN No: 40M-2763 LOT: 52**

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



ZONING INFORMATION - LOT 53	
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) @ 8	R1-E(31)
BUILDING HEIGHT (11.50m max.)	±11.50m
LOT FRONTAGE @ 5.0m	15.31m
LOT AREA	315.65m <sup>2</sup>
PROPOSED COVERAGE (45% max.)	149.55m <sup>2</sup> (29.00%)
FRONT YARD AREA	93.59m <sup>2</sup>
DRIVEWAY AREA	52.36m <sup>2</sup>
LANDSCAPE OPEN SPACE (50% min.)	41.23m <sup>2</sup> (44.08%)

NOTE DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
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EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF FINISHED FLOOR ELEVATION	— HYDRO SERVICE LATERAL	⊕ SLUMP FLUMP
UF UNDERSIDE FOOTING ELEVATION	— WATER SERVICE	⊕ COMMUNITY MAILBOX
BF FIN. BASEMENT FLOOR SLAB	— DOUBLE SAN. CONNECTION	⊕ RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW TOP OF FOUNDATION WALL	— SINGLE SAN. CONNECTION	→ SWALE DIRECTION
URF UNDERSIDE FOOTING AT REAR	— CATCH BASIN	⊕ EMBANKMENT 3:1 SLOPE
UFF UNDERSIDE FOOTING AT FRONT	— HYDRANT	⊕ THIS LOT CONTAINS ENGINEERED FILL
MSE MINIMUM BASEMENT ELEVATION	— PROPOSED VALVE	⊕ FLOE LEAD PRESENT CAUTION WHEN EXCAVATING
WOB WALL OUT BASEMENT	— TRANSFORMER	— RETAINING WALL
REV REVERSE PLAN	— STREETLIGHT POLE	— PRIVACY FENCE (SEE LANDSCAPE PLAN)
△ EXTERIOR DOOR LOCATION	— BELL PEDESTAL	— CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
○ SIDE WINDOW LOCATION	— GRADE LEVEL BELL BOX	
□ FLOOR DRAIN	— ROGERS' VAULT	
□ AIR CONDITIONER	— ROGERS' CABINET WITH VAULT	
RTU REAR YARD UPGRADE		
STU SIDE YARD UPGRADE		

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.  
Individual BCIN: 20193

Signature: *Tony Palumbo*

**Treasure Hill**  
1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS, CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
REGISTERED PLAN No: 40M-2763  
LOT: 53**

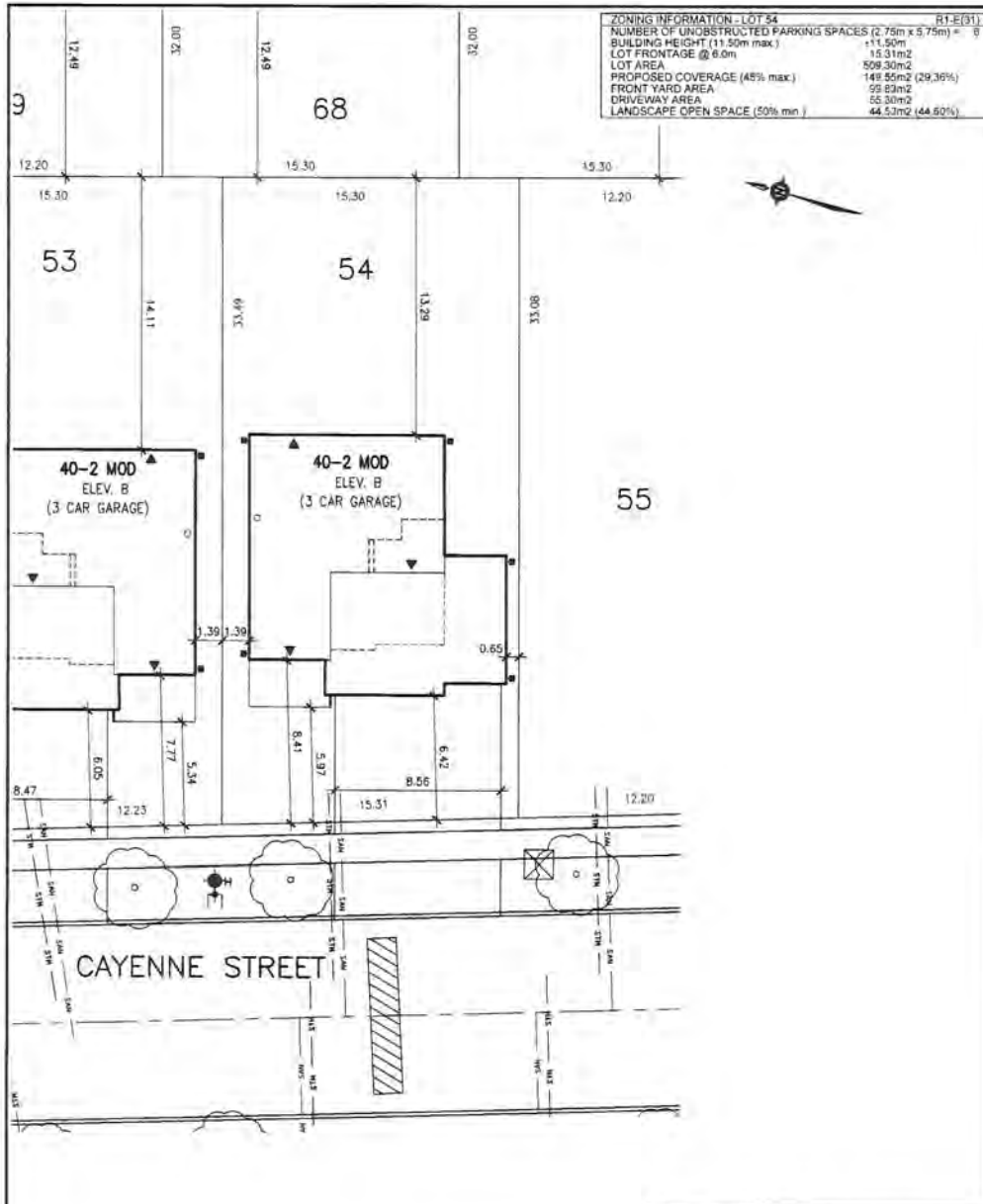
Date: SEPT. 06/24	Drawn by: TF	Scale: 1:250
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Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



ZONING INFORMATION - LOT 54		RT-E(31)
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) =		0
BUILDING HEIGHT (11.50m max.)		11.50m
LOT FRONTAGE @ 6.0m		15.31m <sup>2</sup>
LOT AREA		509.30m <sup>2</sup>
PROPOSED COVERAGE (45% max.)		147.55m <sup>2</sup> (29.36%)
FRONT YARD AREA		55.83m <sup>2</sup>
DRIVEWAY AREA		65.30m <sup>2</sup>
LANDSCAPE OPEN SPACE (50% min.)		44.53m <sup>2</sup> (44.60%)

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
 THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES IF MIN. DIMENSIONS ARE NOT MAINTAINED. BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.  
 NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.  
 THE AS-CONTRACTED SEWER SHEETS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL. THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCH-BASIN AND LEAD PRIOR TO POURING FOOTINGS.  
 EXTENDED FOOTINGS FOR RAISED UNITS UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FULL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF FINISHED FLOOR ELEVATION	HYDR SERVICE LATERAL WATER SERVICE	SLUMP PUMP
UP UNDERSIDE FOOTING ELEVATION	DOUBLE SAN. CONNECTION	COMMUNITY MAILBOX
FN FIN. BASEMENT FLOOR SLAB	SAN SINGLE SAN. CONNECTION	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TRW TOP OF FOUNDATION WALL	WHB SINGLE STM. CONNECTION	SWALE DIRECTION
URR UNDERSIDE FOOTING AT REAR	CATCH BASIN	EMBANKMENT 3:1 SLOPE
URF UNDERSIDE FOOTING AT FRONT	PROPOSED VALVE	THIS LOT CONTAINS ENGINEERED FILL
MSE MIN. IM. BASEMENT ELEVATION	TRANSFORMER	RIDGE LEAD PRESENT CAUTION WHEN SIGNIFYING
WOB WALK OUT BASEMENT	STREETLIGHT POLE	RETAINING WALL
WUB WALK UP BASEMENT	BELL PEDESTAL	PRIVATE FENCE
REV REVERSE PLAN	RODGES (ELEV. BELL BOX)	(SEE LANDSCAPE PLAN)
EOE EXTERIOR DOOR LOCATION	RODGES CABINET WITH VALVE	CHAIN LINK FENCE
SOE SIDE WINDOW LOCATION		(SEE LANDSCAPE PLAN)
FD FLOOR DRAIN		
AC AIR CONDITIONER		
RYU REAR YARD UPGRADE		
ZYU SIDE YARD UPGRADE		

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code  
 Individual BCIN: 20193

*Tony Palumbo*  
 Signature

**Treasure Hill**

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS, CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
 REGISTERED PLAN No: 40M-2763  
 LOT: 54**

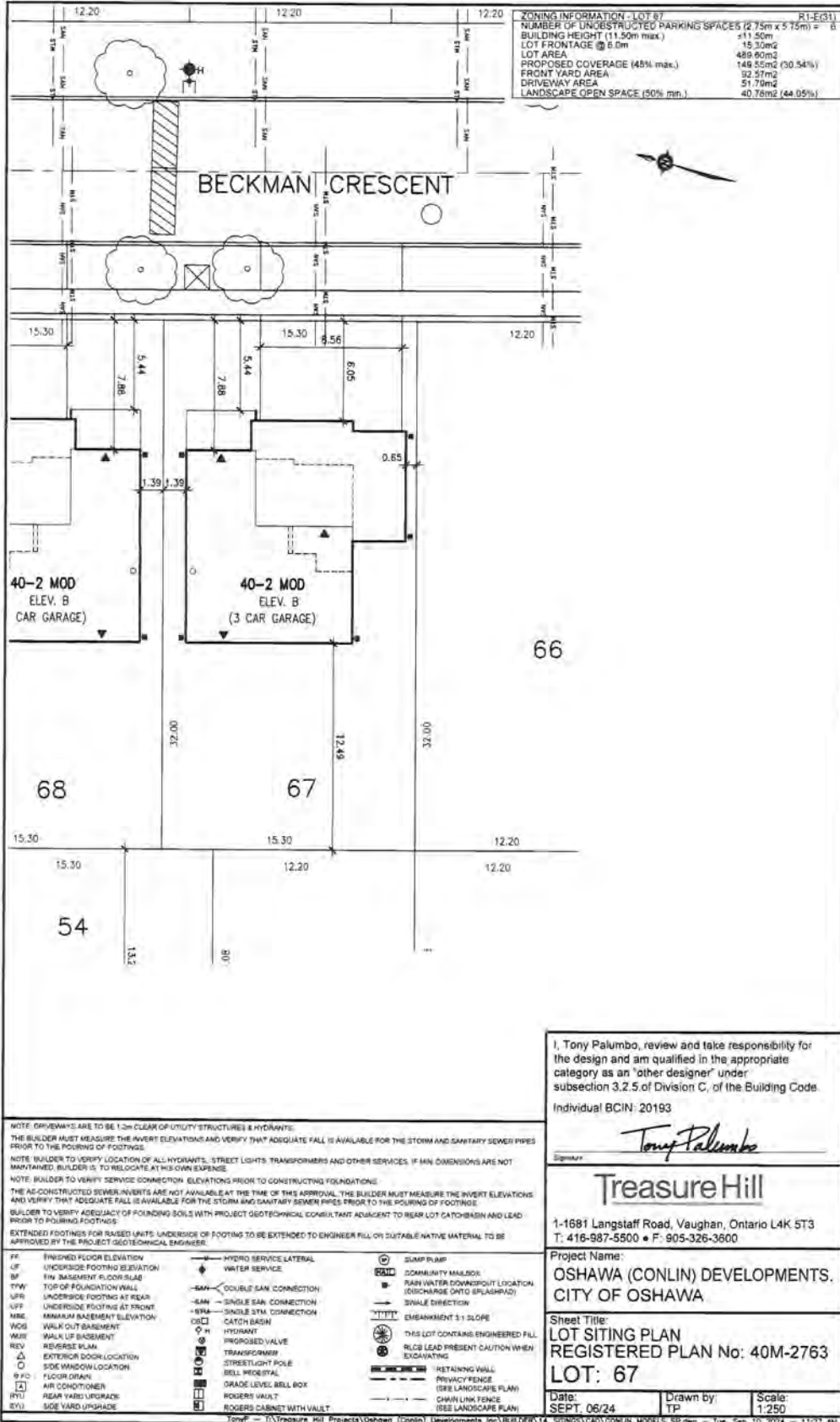
Date: SEPT. 05/24 Drawn by: TF Scale: 1:250



Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services

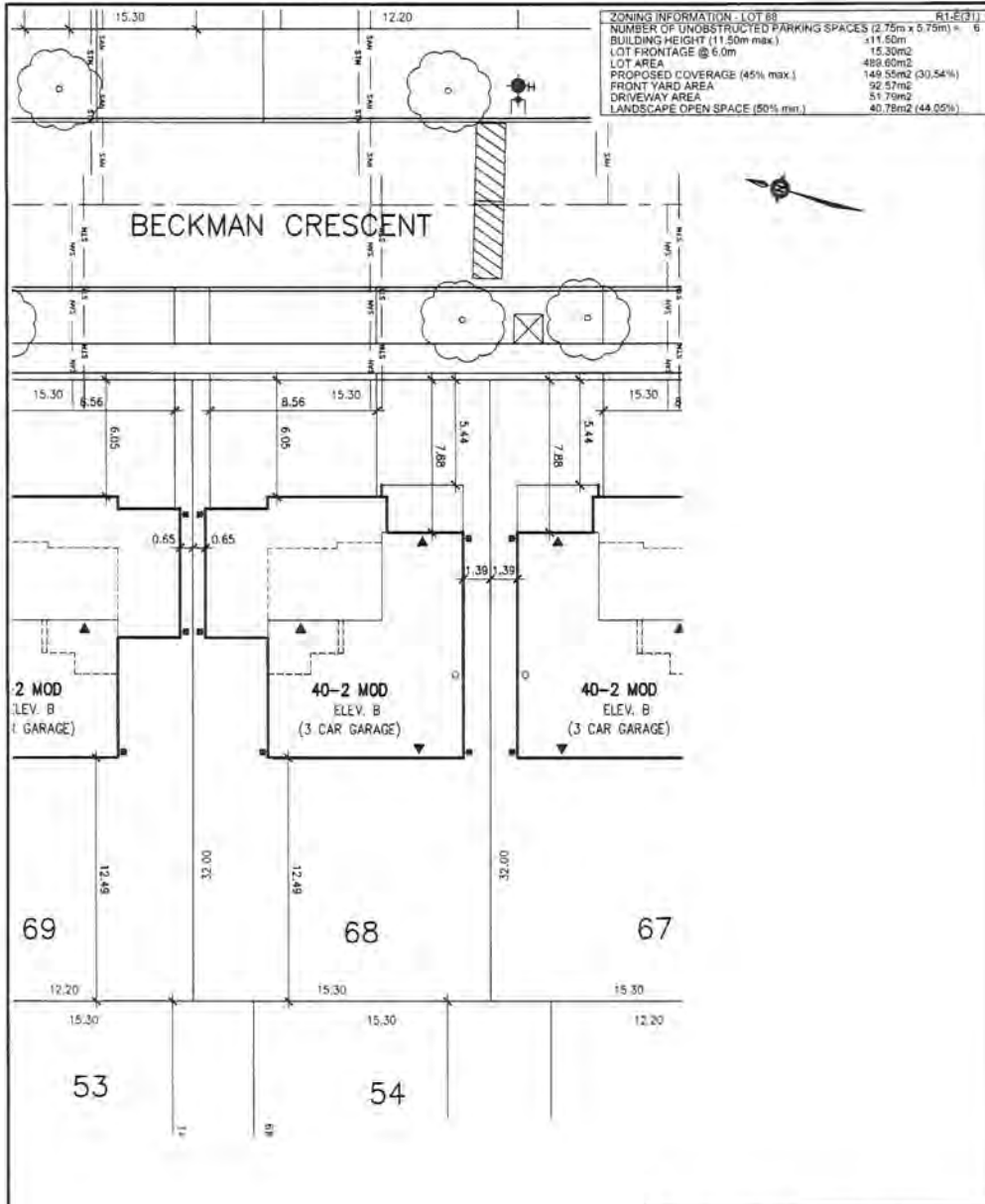


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Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



ZONING INFORMATION - LOT 68		RL-E(3)
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m)	=	6
BUILDING HEIGHT (11.50m max.)	=	11.50m
LOT FRONTAGE @ 6.0m	=	15.30m <sup>2</sup>
LOT AREA	=	489.60m <sup>2</sup>
PROPOSED COVERAGE (45% max.)	=	149.55m <sup>2</sup> (30.54%)
FRONT YARD AREA	=	92.57m <sup>2</sup>
DRIVEWAY AREA	=	5.17m <sup>2</sup>
LANDSCAPE OPEN SPACE (50% min.)	=	40.78m <sup>2</sup> (44.05%)

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
 THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.  
 NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.  
 THE AS-CONSTRUCTED SEWER INVERTS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL. THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCH-BASIN AND LEAD PRIOR TO POURING FOOTINGS.  
 EXTENDED FOOTINGS FOR RAISED UNITS, UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF	FINISHED FLOOR ELEVATION	—	HYDRO SERVICE LATERAL	⊙	SUMP PUMP
UF	UNDERSIDE FOOTING ELEVATION	—	WATER SERVICE	⊙	COMMUNITY MAILBOX
BF	FIN. BASEMENT FLOOR SLAB	—	—	—	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	—	—	—	SWALE DIRECTION
URR	UNDERSIDE FOOTING AT REAR	—	—	—	EMBANKMENT 3:1 SLOPE
URF	UNDERSIDE FOOTING AT FRONT	—	—	—	THIS LOT CONTAINS ENGINEERED FILL
MBE	MINIMUM BASEMENT ELEVATION	—	—	—	RIBBON LEAD PRESENT CAUTION WHEN EXCAVATING
WOB	WALK OUT BASEMENT	—	—	—	RETAINING WALL
WUB	WALK UP BASEMENT	—	—	—	PRIVATE FENCE (SEE LANDSCAPE PLAN)
REV	REVERSE PLAN	—	—	—	CHAIN LINK FENCE
ED	EXTERIOR DOOR LOCATION	—	—	—	IRREGULAR LANDSCAPE PLAN
SD	SIDE WINDOOR LOCATION	—	—	—	
PD	POOR DRAIN	—	—	—	
AC	AIR CONDITIONER	—	—	—	
RYU	REAR YARD UPGRADE	—	—	—	
SYU	SIDE YARD UPGRADE	—	—	—	

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.  
 Individual BCIN: 20193

Signature: *Tony Palumbo*

**Treasure Hill**  
 1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS, CITY OF OSHAWA**

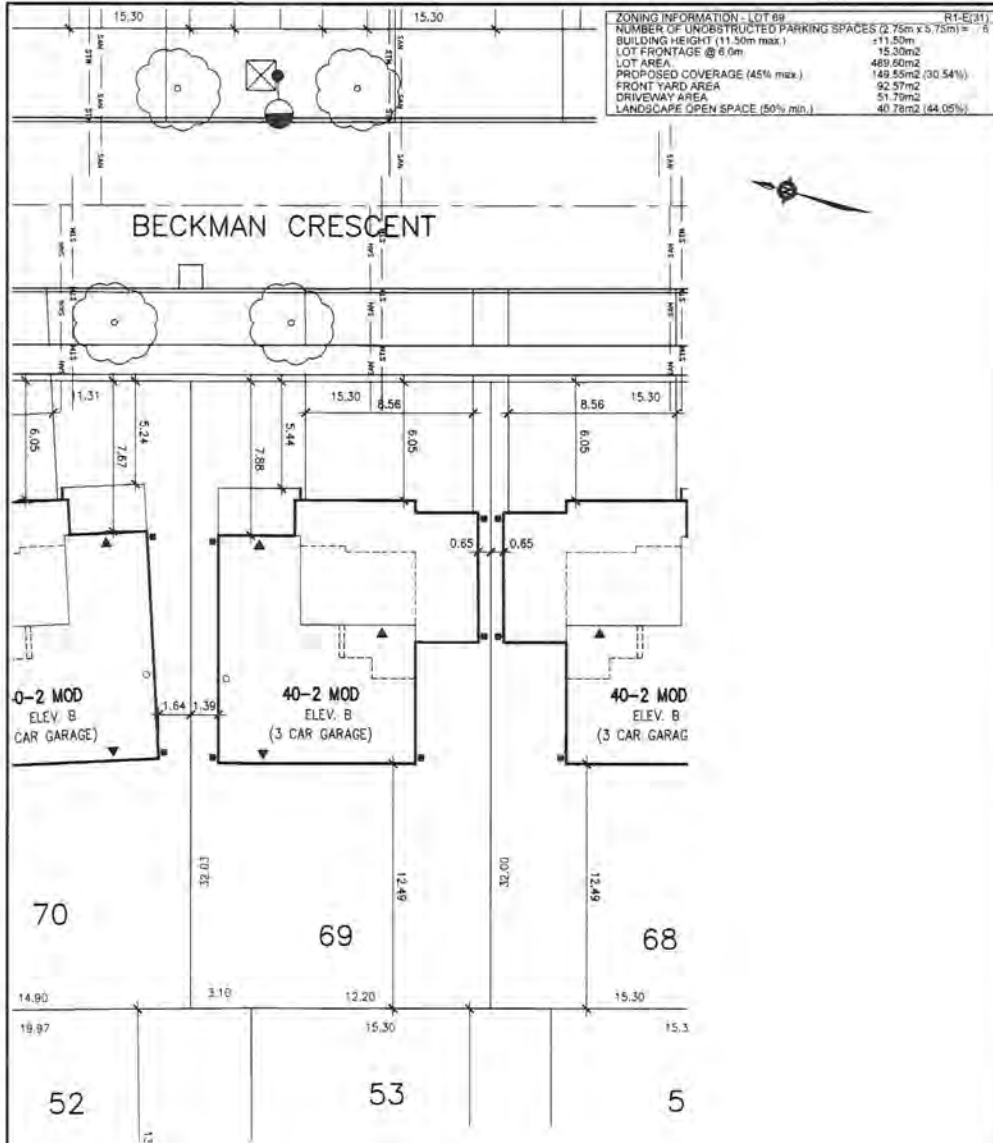
Sheet Title:  
**LOT SITING PLAN**  
 REGISTERED PLAN No: 40M-2763  
**LOT: 68**

Date: SEPT 05/24  
 Drawn by: TP  
 Scale: 1:250

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



NOTE DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS  
 THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
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 EXTENDED FOOTINGS FOR RAISED UNITS UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF FINISHED FLOOR ELEVATION	HS HYDRO SERVICE LATERAL WATER SERVICE	SLUMP PUMP
UF UNDERSIDE FOOTING ELEVATION	SD DOUBLE SAN. CONNECTION	COMMUNITY MAILBOX
BF FIN. BASEMENT FLOOR SLAB	SN SINGLE SAN. CONNECTION	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW TOP OF FOUNDATION WALL	STW SINGLE STW CONNECTION	SWALE DIRECTION
URF UNDERSIDE FOOTING AT REAR	CB CATCH BASIN	EMBANKMENT 3:1 SLOPE
UFV UNDERSIDE FOOTING AT FRONT	H HYDRANT	THIS LOT CONTAINS ENGINEERED FILL
MBE MINIMUM BASEMENT ELEVATION	PV PROPOSED VALVE	ALSO LEAD PRESENT CAUTION WHEN EXCAVATING
WOB WALK OUT BASEMENT	TR TRANSFORMER	RETAINING WALL
WBW WALK UP BASEMENT	STF STREET LIGHT POLE	PRIVATE FENCE (SEE LANDSCAPE PLAN)
REV REVERSE PLAN	SP SILL PEDESTAL	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
ED EXTERIOR DOOR LOCATION	GLB GRADE LEVEL BELL BOX	
SD SIDE WINDOW LOCATION	RV ROGERS VALVE	
FD FLOOR DRAIN	RC ROGERS CABINET WITH VALVE	
AC AIR CONDITIONER		
RYU REAR YARD UPGRADE		
SYU SIDE YARD UPGRADE		

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.  
 Individual BCIN: 20193  
 Signature: *Tony Palumbo*

**Treasure Hill**  
 1-1661 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS, CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
 REGISTERED PLAN No: 40M-2763  
 LOT: 69**

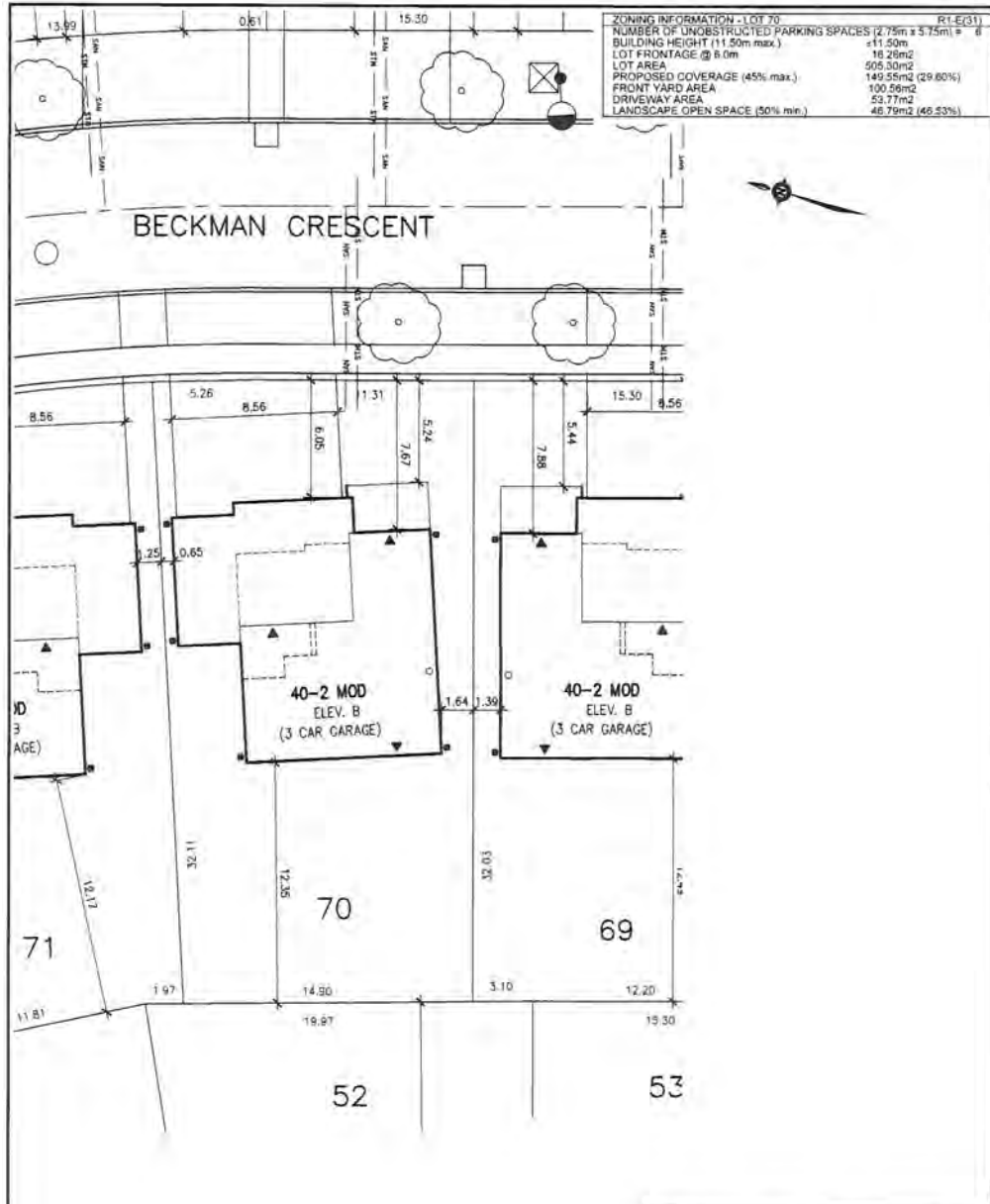
Date: SEPT. 06/24  
 Drawn by: TF  
 Scale: 1:250



Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.

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NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.  
THE AS CONSTRUCTED SEWER HYDRANTS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL, THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD EXTENDED FOOTINGS FOR RAISED UNITS. UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.  
Individual BCIN: 20193

Signature: *Tony Palumbo*

**Treasure Hill**

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS, CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN REGISTERED PLAN No: 40M-2763 LOT: 70**

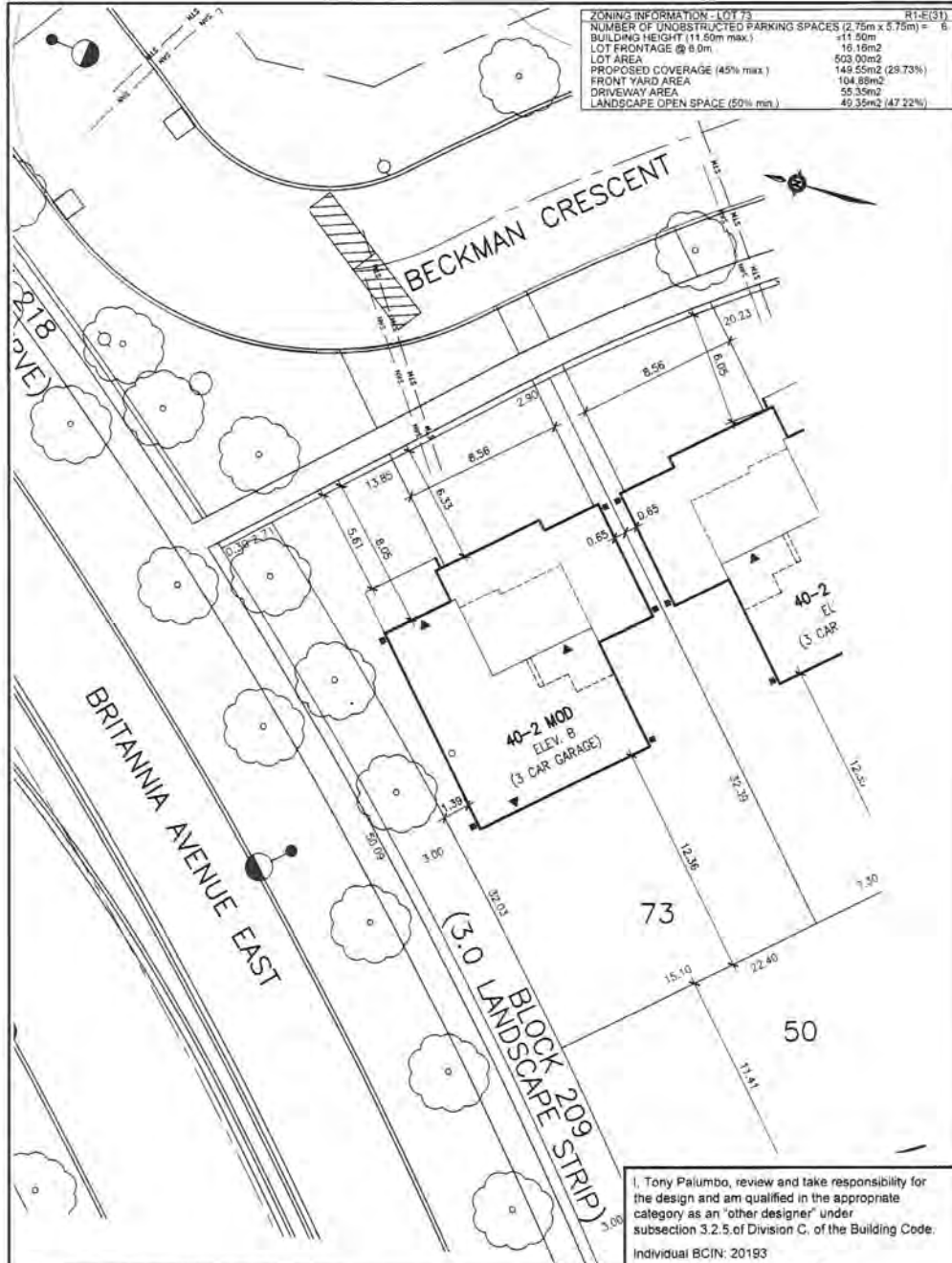
Date: SEPT 06/24  
Drawn by: TP  
Scale: 1:250

FF FINISHED FLOOR ELEVATION	HYDRO SERVICE LATERAL WATER SERVICE	FLUMP PUMP
UF UNDERSIDE FOOTING ELEVATION	DOUBLE SAN. CONNECTION	COMMUNITY MAILBOX
BF FIN. BASEMENT FLOOR SLAB	SINGLE SAN. CONNECTION	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
FWN TOP OF FOUNDATION WALL	SINGLE STM. CONNECTION	SWALE DIRECTION
URB UNDERSIDE FOOTING AT REAR	CATCH BASIN	EMBANKMENT 3:1 SLOPE
UFF UNDERSIDE FOOTING AT FRONT	HYDRANT	THIS LOT CONTAINS ENGINEERED FILL
MBE MAXIMUM BASEMENT ELEVATION	PROPOSED VALVE	RUBB LEAD PRESENT CAUTION WHEN EXCAVATING
WCB WALK-OUT BASEMENT	TRANSFORMER	RETAINING WALL (SEE LANDSCAPE PLAN)
REV REVERSE PLAN	BELL PEDestal	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
EDR EXTERIOR DOOR LOCATION	GRADE LEVEL BELL BOX	
SWC SIDE WINDOW LOCATION	ROGERS CABINET WITH VAULT	
FDN FLOOR DRAIN		
ACR AIR CONDITIONER		
RYU REAR YARD UPGRADE		
BYU BGS YARD UPGRADE		

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



NOTE: DRIVEWAYS ARE TO BE 1.3m CLEAR OF UTILITY STRUCTURES & HYDRANTS.

THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES IF MIN DIMENSIONS ARE NOT MAINTAINED. BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.

THE 2-2 CONSTRUCTED SEWER INVERTS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL. THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.

BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.

EXTENDED FOOTINGS FOR RAMMED INITS, UNDERSE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF	FINISHED FLOOR ELEVATION	—	HYDRO SERVICE LATERAL	⊙	TUMP PLANE
UP	UNDERSIDE FOOTING ELEVATION	—	WATER SERVICE	⊙	COMMUNITY MAILBOX
BF	FIN. BASEMENT FLOOR SLAB	—	—	—	MAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	—	—	—	SWALE DIRECTION
URF	UNDERSIDE FOOTING AT REAR	—	—	—	EMBANKMENT 3:1 SLOPE
UFF	UNDERSIDE FOOTING AT FRONT	—	—	—	THIS LOT CONTAINS ENGINEERED FILL
MBE	MINIMUM BASEMENT ELEVATION	—	—	—	RICE LEAD PRESENT CAUTION WHEN EXCAVATING
WOB	WALK-UP BASEMENT	—	—	—	RETAINING WALL
REV	REVERSE PLAN	—	—	—	PRIVACY FENCE (SEE LANDSCAPE PLAN)
△	EXTERIOR DOOR LOCATION	—	—	—	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
○	SIDE WINDOW LOCATION	—	—	—	—
□	FLOOR DRAIN	—	—	—	—
⊠	AIR CONDITIONER	—	—	—	—
RTU	REAR YARD UPGRADE	—	—	—	—
STU	SIDE YARD UPGRADE	—	—	—	—

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C. of the Building Code.  
Individual BCIN: 20193

*Tony Palumbo*  
Signature

**Treasure Hill**

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS.  
CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
REGISTERED PLAN No: 40M-2763  
LOT: 73**

Date:	SEPT 06/24	Drawn by:	TP	Scale:	1:250
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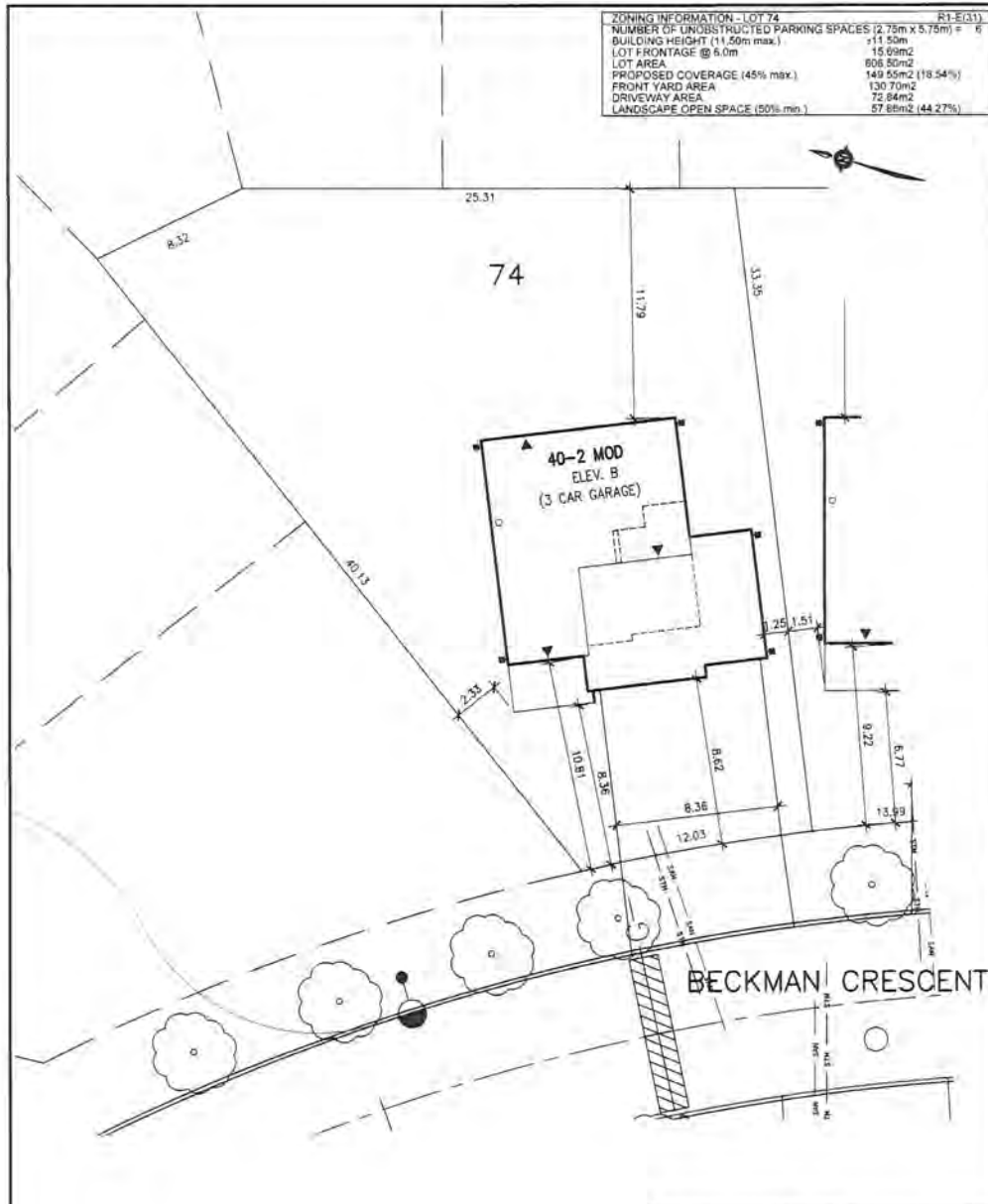
Sept - 24 Treasure Hill Projects (Oshawa, Conlin) Developments INC (BUILDING 14 STRIPS) (CONLIN MODELS SP) - 1st, Sep 10 2024 - 11:27 AM

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Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



ZONING INFORMATION - LOT 74		R1-E(31)
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) =	6	
BUILDING HEIGHT (11.50m max.)	+11.50m	
LOT FRONTAGE @ 5.0m	15.09m <sup>2</sup>	
LOT AREA	808.80m <sup>2</sup>	
PROPOSED COVERAGE (45% max.)	149.55m <sup>2</sup> (18.54%)	
FRONT YARD AREA	130.70m <sup>2</sup>	
DRIVEWAY AREA	72.84m <sup>2</sup>	
LANDSCAPE OPEN SPACE (50% min.)	57.88m <sup>2</sup> (44.27%)	

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
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 EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.  
 Individual BCIN: 20193

Signature: *Tony Palumbo*

**Treasure Hill**  
 1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
 CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
 REGISTERED PLAN No: 40M-2763  
 LOT: 74**

FF	FINISHED FLOOR ELEVATION	—	HYDRO SERVICE LATERAL	⊕	BUMP PUMP
UF	UNDERSIDE FOOTING ELEVATION	—	WATER SERVICE	⊕	SIGNAL/WEIR MALE/ICE
BP	FIN. BASEMENT FLOOR SLAB	—	—SAN—	⊕	RAIN/WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	—	—SAN—	⊕	SWALE DIRECTION
URR	UNDERSIDE FOOTING AT REAR	—	—SAN—	⊕	EMBANKMENT'S 1 SLOPE
UFR	UNDERSIDE FOOTING AT FRONT	—	—SAN—	⊕	THIS LOT CONTAINS ENGINEERED FILL
MBE	MINIMUM BASEMENT ELEVATION	—	—SAN—	⊕	R/CB LEAD PRESENT CAUTION WHEN EXCAVATING
WOB	WALK OUT BASEMENT	—	—SAN—	⊕	RETAINING WALL
WAB	WALK IN BASEMENT	—	—SAN—	⊕	TRIMMED FENCE (SEE LANDSCAPE PLAN)
REV	REVERSE PLAN	—	—SAN—	⊕	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
OW	SIDE WINDOW LOCATION	—	—SAN—	⊕	
F/O	FLOOR ORIGIN	—	—SAN—	⊕	
A/C	AIR CONDITIONER	—	—SAN—	⊕	
R/YU	REAR YARD UPGRADE	—	—SAN—	⊕	
R/YD	REAR YARD UPGRADE	—	—SAN—	⊕	
S/YU	SIDE YARD UPGRADE	—	—SAN—	⊕	

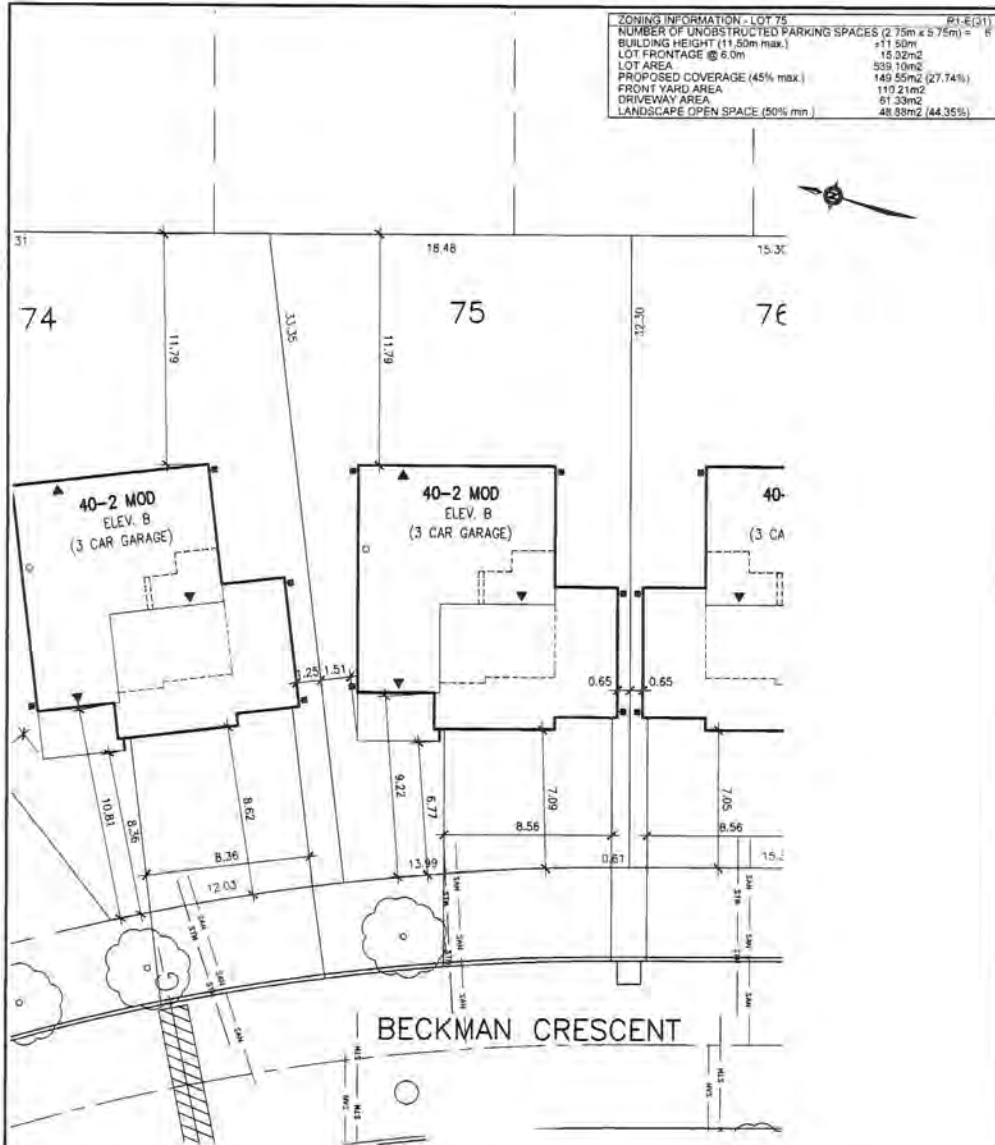
Date: SEPT. 08/24  
 Drawn by: TP  
 Scale: 1:250



Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



**ZONING INFORMATION - LOT 75**

NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) = 6	B1-E(3)
BUILDING HEIGHT (11.50m max.)	±11.50m
LOT FRONTAGE @ 6.0m	15.32m
LOT AREA	529.10m <sup>2</sup>
PROPOSED COVERAGE (45% max.)	149.55m <sup>2</sup> (27.74%)
FRONT YARD AREA	110.21m <sup>2</sup>
DRIVEWAY AREA	61.33m <sup>2</sup>
LANDSCAPE OPEN SPACE (50% min.)	48.88m <sup>2</sup> (44.35%)

NOTE: DRIVEWAYS ARE TO BE 1.2M CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
 THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF ANY DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.  
 NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.  
 THE AS-CONSTRUCTED SEWER INVERTS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL. THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.  
 EXTENDED FOOTINGS FOR RAISED UNITS, UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.  
 Individual BCIN: 20193

*Tony Palumbo*  
 Signature

**Treasure Hill**

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name  
**OSHAWA (CONLIN) DEVELOPMENTS.  
 CITY OF OSHAWA**

Sheet Title  
**LOT SITING PLAN  
 REGISTERED PLAN No: 40M-2763  
 LOT: 75**

FF FINISHED FLOOR ELEVATION	HYDRO SERVICE LATERAL	SEWER PUMP
UF UNDERSIDE FOOTING ELEVATION	WATER SERVICE	COMBUSTION MANHOLE
BF FIN. BASEMENT FLOOR ELSE		RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO GRASS/PAD)
TFM TOP OF FOUNDATION WALL		SWALE DIRECTION
UFR UNDERSIDE FOOTING AT REAR	DOUBLE SAN CONNECTION	EMBANKMENT 3:1 SLOPE
UFR UNDERSIDE FOOTING AT FRONT	SINGLE SAN CONNECTION	THIS LOT CONTAINS ENGINEERED FILL
MBE MINIMUM BASEMENT ELEVATION	SINGLE STW CONNECTION	RUB LEAD PRESENT CAUTION WHEN EXCAVATING
WOB WALK-OUT BASEMENT	CATCH BASIN	
WBW WALK UP BASEMENT	HYDRANT	RETAINING WALL
REV REVERSE PLAN	PROPOSED VALVE	PRIVACY FENCE (SEE LANDSCAPE PLAN)
EXT EXTERIOR DOOR LOCATION	TRANSFER ORDER	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
WID WIND WINDOW LOCATION	BELL PEDESTAL	
IFD FLOOR DRAIN	GRADE LEVEL, BELL BOX	
AC AIR CONDITIONER	ROVERS VAULT	
FYU REAR YARD UPGRADE	ROVERS CABINET WITH VAULT	
YUO YARD UPGRADE		

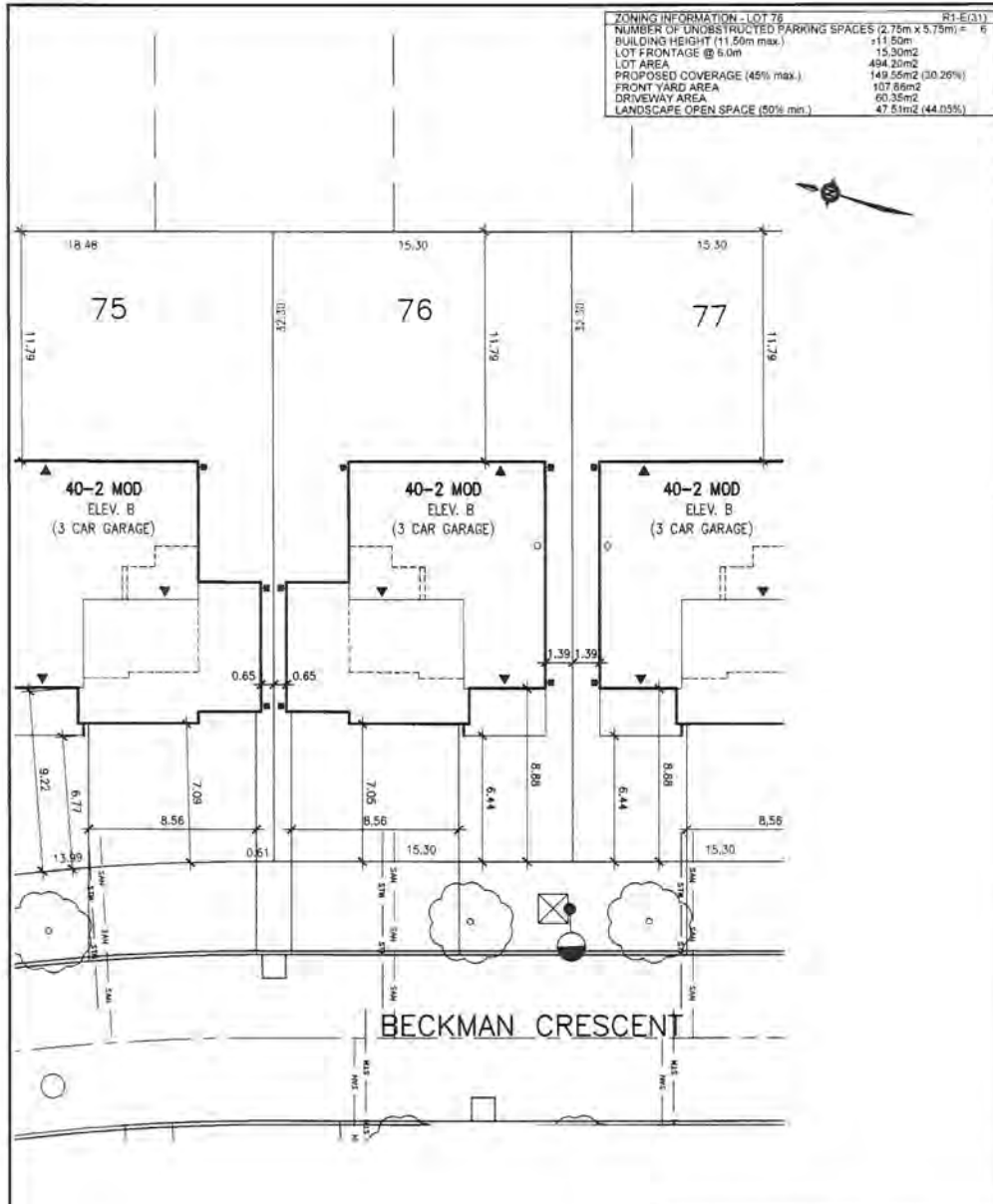
Date: SEPT 06/24  
 Drawn by: TP  
 Scale: 1:250



Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



ZONING INFORMATION - LOT 76		R1-E(31)
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) =	6	
BUILDING HEIGHT (11.50m max.)	±11.50m	
LOT FRONTAGE @ 5.0m	15.30m <sup>2</sup>	
LOT AREA	494.30m <sup>2</sup>	
PROPOSED COVERAGE (45% max.)	149.55m <sup>2</sup> (30.26%)	
FRONT YARD AREA	107.66m <sup>2</sup>	
DRIVEWAY AREA	60.35m <sup>2</sup>	
LANDSCAPE OPEN SPACE (50% min.)	47.51m <sup>2</sup> (44.05%)	

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES IF MIN. DIMENSIONS ARE NOT MAINTAINED. BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.  
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BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.  
EXTENDED FOOTINGS FOR RAISED UNITS, UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR DUMPABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

- |                                |                           |
|--------------------------------|---------------------------|
| FF FINISHED FLOOR ELEVATION    | HYDRO SERVICE LATERAL     |
| UF UNDERSIDE FOOTING ELEVATION | WATER SERVICE             |
| BF FIN. BASEMENT FLOOR SLAB    | DOUBLE SAN. CONNECTION    |
| TFW TOP OF FOUNDATION WALL     | SINGLE SAN. CONNECTION    |
| URF UNDERSIDE FOOTING AT REAR  | SINGLE STA. CONNECTION    |
| UFF UNDERSIDE FOOTING AT FRONT | CATCHBASIN                |
| MSE MINIMUM BASEMENT ELEVATION | HYDRANT                   |
| WOB WALK OUT BASEMENT          | PROPOSED VALVE            |
| WAB WALK UP BASEMENT           | TRANSFORMER               |
| REV REVERSE PLAN               | STREETLIGHT POLE          |
| EDL EXTERIOR DOOR LOCATION     | BELL PEDESTAL             |
| SLD SIDE WINDOW LOCATION       | GRADE LEVEL BELL BOX      |
| FDR FLOOR DRAIN                | ROGERS VAULT              |
| AC AIR CONDITIONER             | ROGERS CABINET WITH VAULT |
| RYU REAR YARD UPGRADE          |                           |
| SYU SIDE YARD UPGRADE          |                           |

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.  
Individual BCIN: 20193  
*Tony Palumbo*  
Signature:

**Treasure Hill**  
1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS, CITY OF OSHAWA**

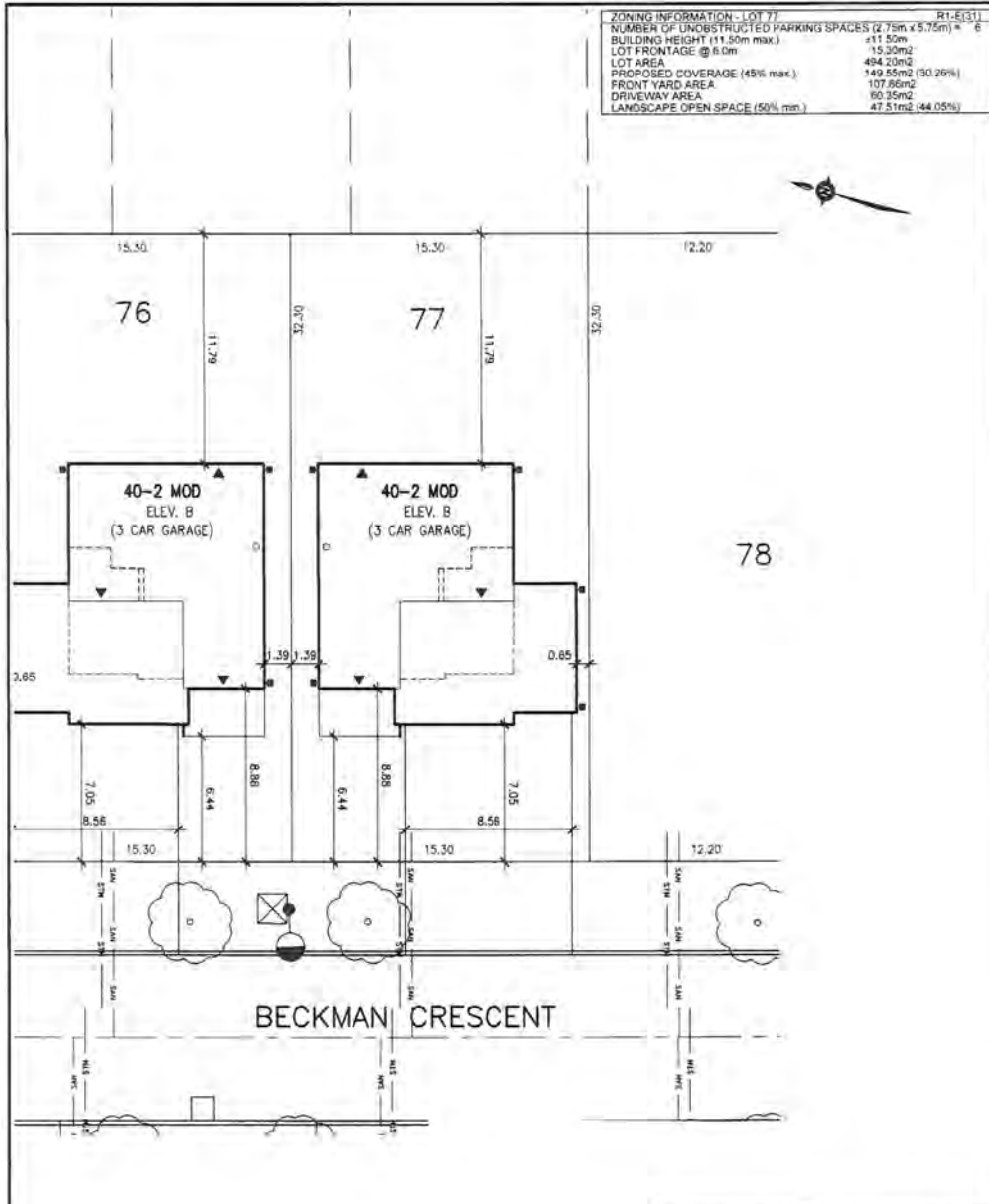
Sheet Title:  
**LOT SITING PLAN  
REGISTERED PLAN No: 40M-2763  
LOT: 76**

Date: SEPT. 05/24  
Drawn by: TP  
Scale: 1:250

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



ZONING INFORMATION - LOT 77		R1-E(3.1)
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) =	6	
BUILDING HEIGHT (11.50m max.)	≤ 11.50m	
LOT FRONTAGE @ 6.0m	15.30m	
LOT AREA	494.50m <sup>2</sup>	
PROPOSED COVERAGE (45% max.)	149.55m <sup>2</sup> (30.26%)	
FRONT YARD AREA	107.86m <sup>2</sup>	
DRIVEWAY AREA	60.35m <sup>2</sup>	
LANDSCAPE OPEN SPACE (50% min.)	47.51m <sup>2</sup> (44.05%)	

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
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Individual BCIN: 20193

Signature: *Tony Palumbo*

**Treasure Hill**  
1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
REGISTERED PLAN No: 40M-2763  
LOT: 77**

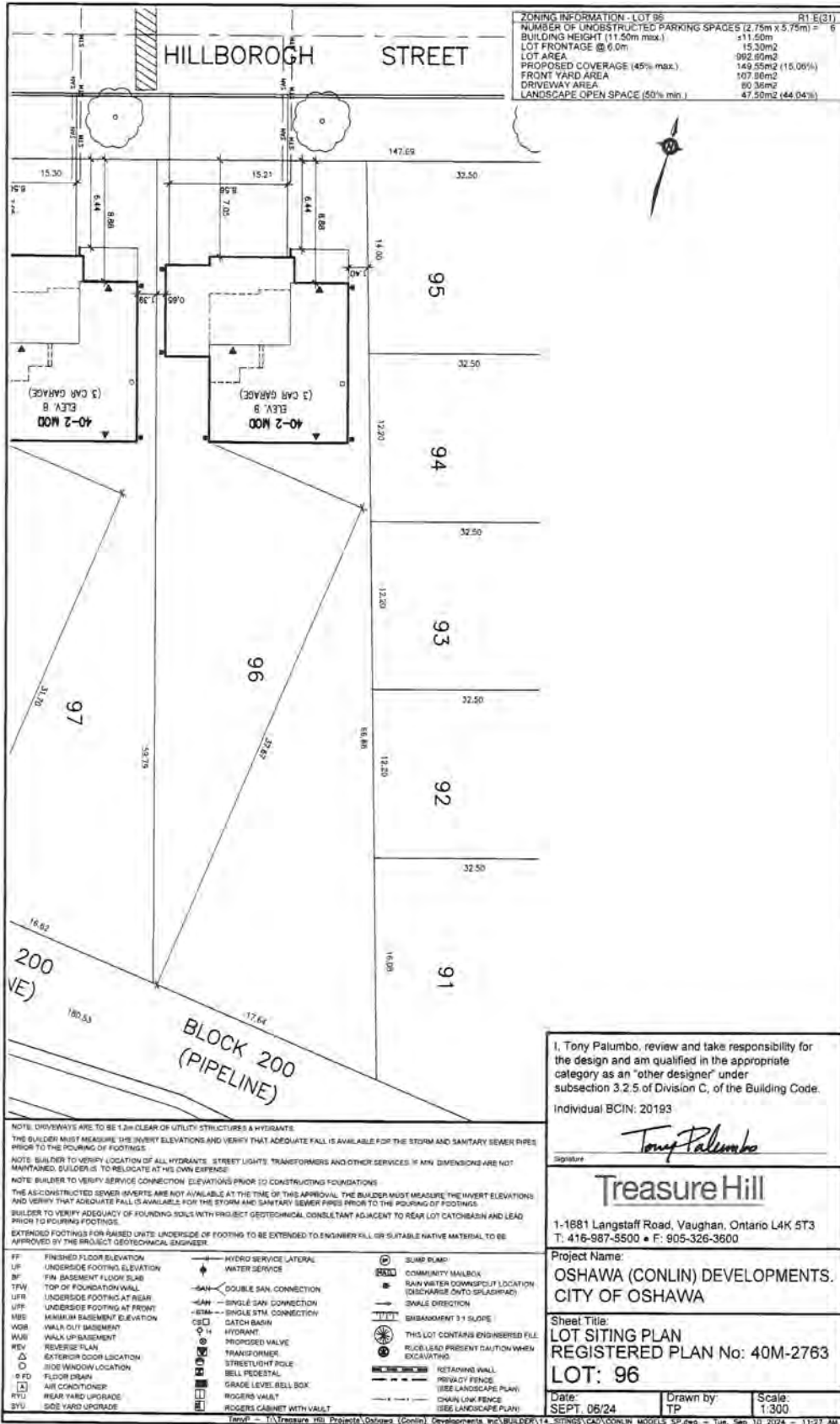
FF	FINISHED FLOOR ELEVATION	HS	HYDRO SERVICE LATERAL WATER SERVICE	SP	SLUMP PUMP
BF	FIN. BASEMENT FLOOR SLAB	DS	DOUBLE SAN. CONNECTION	CM	COMMUNITY MAILBOX
TFW	TOP OF FOUNDATION WALL	SN	SINGLE SAN. CONNECTION	RS	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
UBW	UNDERSIDE FOOTING AT REAR	STW	SINGLE STW CONNECTION	SD	SWALE DIRECTION
UFW	UNDERSIDE FOOTING AT FRONT	CH	CATCH BASIN	S	EMBANKMENT 3:1 SLOPE
MBE	MINIMUM BASEMENT ELEVATION	H	HYDRANT	EP	THIS LOT CONTAINS ENGINEERED FILL
WOB	WALK OUT BASEMENT	PV	PROPOSED VALVE	FL	FLOOR LEAD PRESENT CAUTION WHEN EXCAVATING
REV	REVERSE PLAN	TR	TRANSFORMER	RF	RETAINING WALL
EL	EXTERIOR DOOR LOCATION	STP	STREETLIGHT POLE	PF	PERIMETER FENCE (SEE LANDSCAPE PLAN)
WD	WIDE WINDOW LOCATION	BP	BELL PEDESTAL	CLP	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
FD	FLOOR DRAIN	GB	GRADE LEVEL BELL BOX		
AO	AIR CONDITIONER	RG	ROGERS CABINET WITH VALVE		
RYU	REAR YARD UPGRADE				
SYU	SIDE YARD UPGRADE				

Date: SEPT. 06/24  
Drawn by: TP  
Scale: 1:250

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



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Individual BCIN: 20193

*Tony Palumbo*  
Signature

**Treasure Hill**

1-1881 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
REGISTERED PLAN No: 40M-2763  
LOT: 96**

Date: SEPT 05/24	Drawn by: TP	Scale: 1:300
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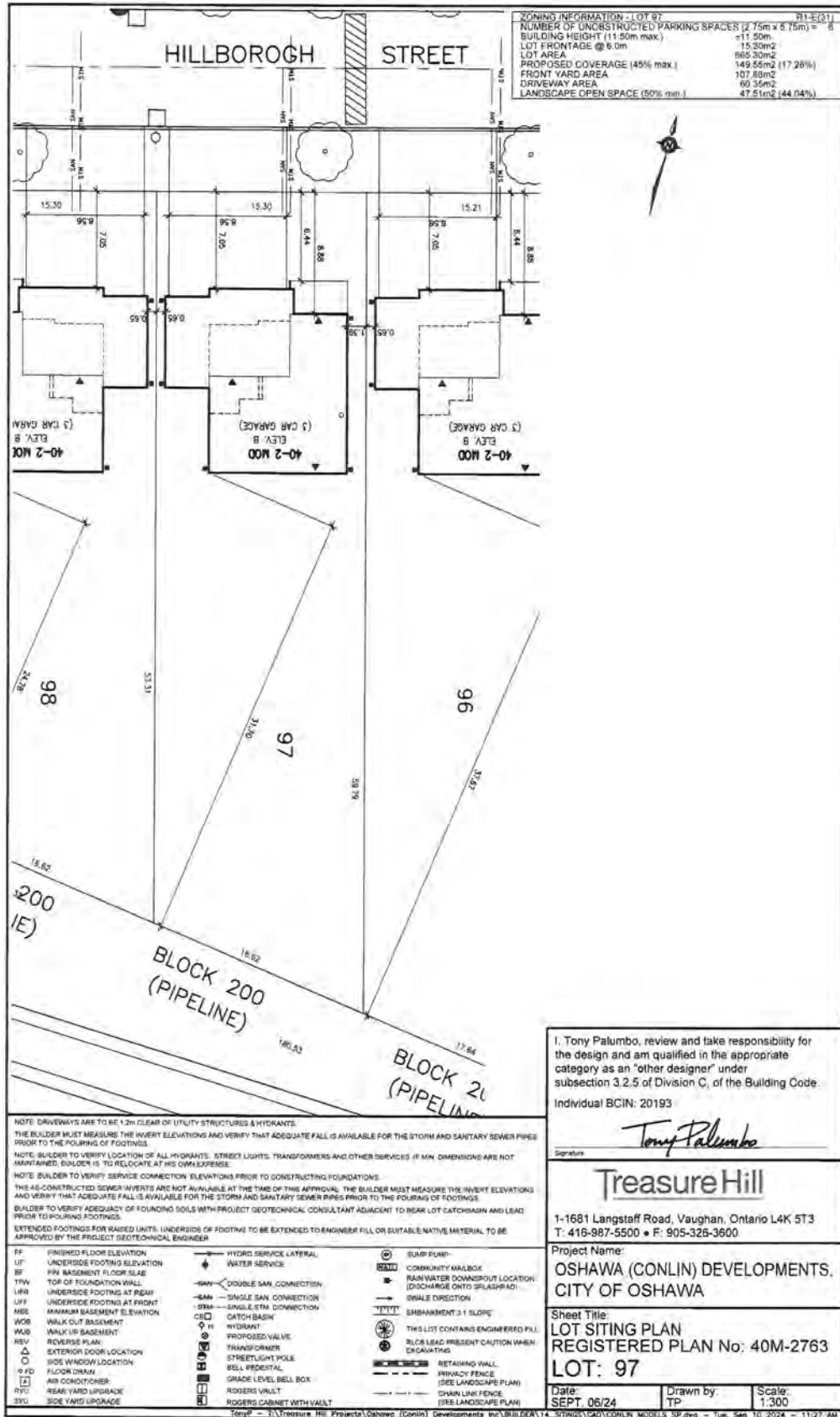
- NOTES: HYDRANTS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
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EXTENDED FOOTINGS FOR RAISED UNITS UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER RILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- |                                 |                            |  |
|---------------------------------|----------------------------|--|
| FF FINISHED FLOOR ELEVATION     | HYDRANT                    | SLURB RAMP   |
| UF UNDERSIDE FOOTING ELEVATION  | WATER SERVICE              | COMMUNITY MAILBOX  |
| BF FIN BASSEMENT FLOOR SLAB     | DOUBLE SAN. CONNECTION     | RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD) |
| TFW TOP OF FOUNDATION WALL      | SAN SINGLE SAN. CONNECTION | SMALLS DIRECTION   |
| UFR UNDERSIDE FOOTING AT REAR   | BTM SINGLE BTM CONNECTION  | EMBANKMENT 3:1 SLOPE                                     |
| UFR UNDERSIDE FOOTING AT FRONT  | CB CATCH BASIN             | THIS LOT CONTAINS ENGINEERED FILL                        |
| MSE MAINISH BEMSEMENT ELEVATION | PROPOSED VALVE             | R/C/L LEAD PRESENT DURATION WHEN EXCAVATING              |
| WGB WALK OUT BASEMENT           | TRANSFORMER                | RETAINING WALL   |
| WBW WALK UP BASEMENT            | STREETLIGHT POLE           | PRIVACY FENCE (SEE LANDSCAPE PLAN)                       |
| REV REVERSE PLAN                | BELL PEDESTAL              | DRYAN LOW FENCE (SEE LANDSCAPE PLAN)                     |
| OD EXTERIOR DOOR LOCATION       | GRADE LEVEL BELL BOX       |  |
| OWD SIDE WINDOW LOCATION        | RODERS VAULT               |  |
| FD FLOOR DRAIN                  | RODERS CABINET WITH VAULT  |  |
| AC AIR CONDITIONER              |                            |  |
| RYU REAR YARD UPGRADER          |                            |  |
| SYU SIDE YARD UPGRADER          |                            |  |



Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



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Individual BCIN: 20193

*Tony Palumbo*  
Signature

**Treasure Hill**

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-887-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
REGISTERED PLAN No: 40M-2763  
LOT: 97**

Date: SEPT 05/24  
Drawn by: TP  
Scale: 1:300

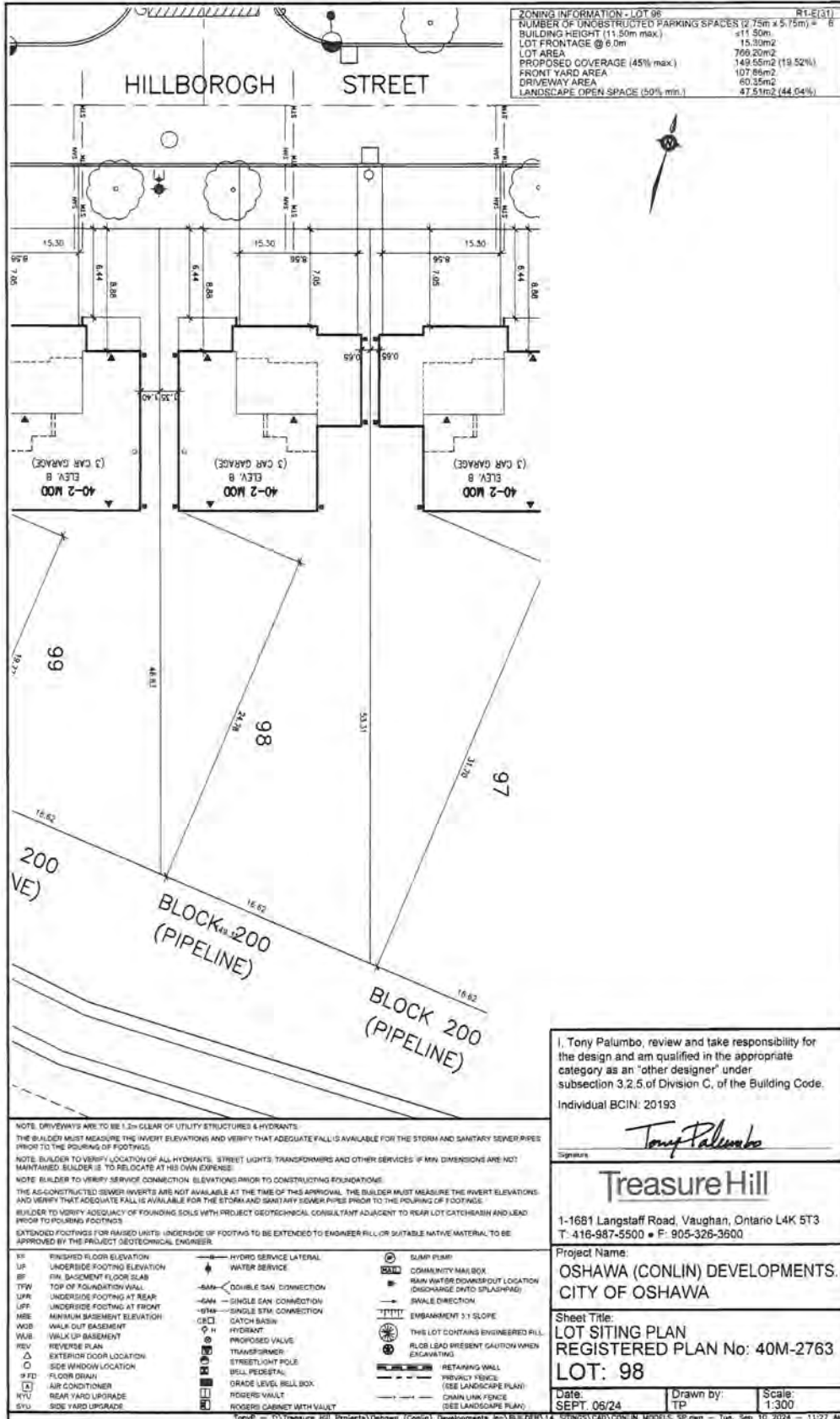
- FF FINISHED FLOOR ELEVATION
- UF UNDERSIDE FOOTING ELEVATION
- BF FIN BASEMENT FLOOR SLAB
- TFM TOP OF FOUNDATION WALL
- UFR UNDERSIDE FOOTING AT REAR
- UFF UNDERSIDE FOOTING AT FRONT
- MRE MAXIMUM BASEMENT ELEVATION
- WCB WALK OUT BASEMENT
- WMB WALK UP BASEMENT
- REV REVERSE PLAN
- ED EXTERIOR DOOR LOCATION
- SDS SIDE WINDOW LOCATION
- FD FLOOR DRAIN
- ACD AIR CONDITIONER
- RYU REAR YARD UPGRADE
- SYU SIDE YARD UPGRADE
- HYDRO SERVICE LATERAL WATER SERVICE
- DOUBLE SAN CONNECTION
- SAN SINGLE SAN CONNECTION
- STW SINGLE STW CONNECTION
- CBS CATCH BASIN
- PH PROPOSED VALVE
- TRANSFORMER
- STREETLIGHT POLE
- BELL PREDENTAL
- GRADE LEVEL BELL BOX
- RODDERS VAULT
- RODDERS CABINET WITH VAULT
- SLUMP PUMP
- COMMUNITY MAILBOX
- RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
- SWALE DIRECTION
- EMBANKMENT 3:1 SLOPE
- THIS LIST CONTAINS ENGINEERED P.L.L.
- R/C/S LEAD PRESENT CAUTION WHEN ENCOUNTERING
- RETAINING WALL
- PRIVACY FENCE (SEE LANDSCAPE PLAN)
- CHAIN LINK FENCE (SEE LANDSCAPE PLAN)

H:\PLAN07\_H\_Mgm09>Data Trans\Attachments - Committee\Agreement\2024\13 - Oct 2\pdf\A-2024-103.pdf

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



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1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
REGISTERED PLAN No: 40M-2763  
LOT: 98**

Date: SEPT. 06/24  
Drawn by: TP  
Scale: 1:300

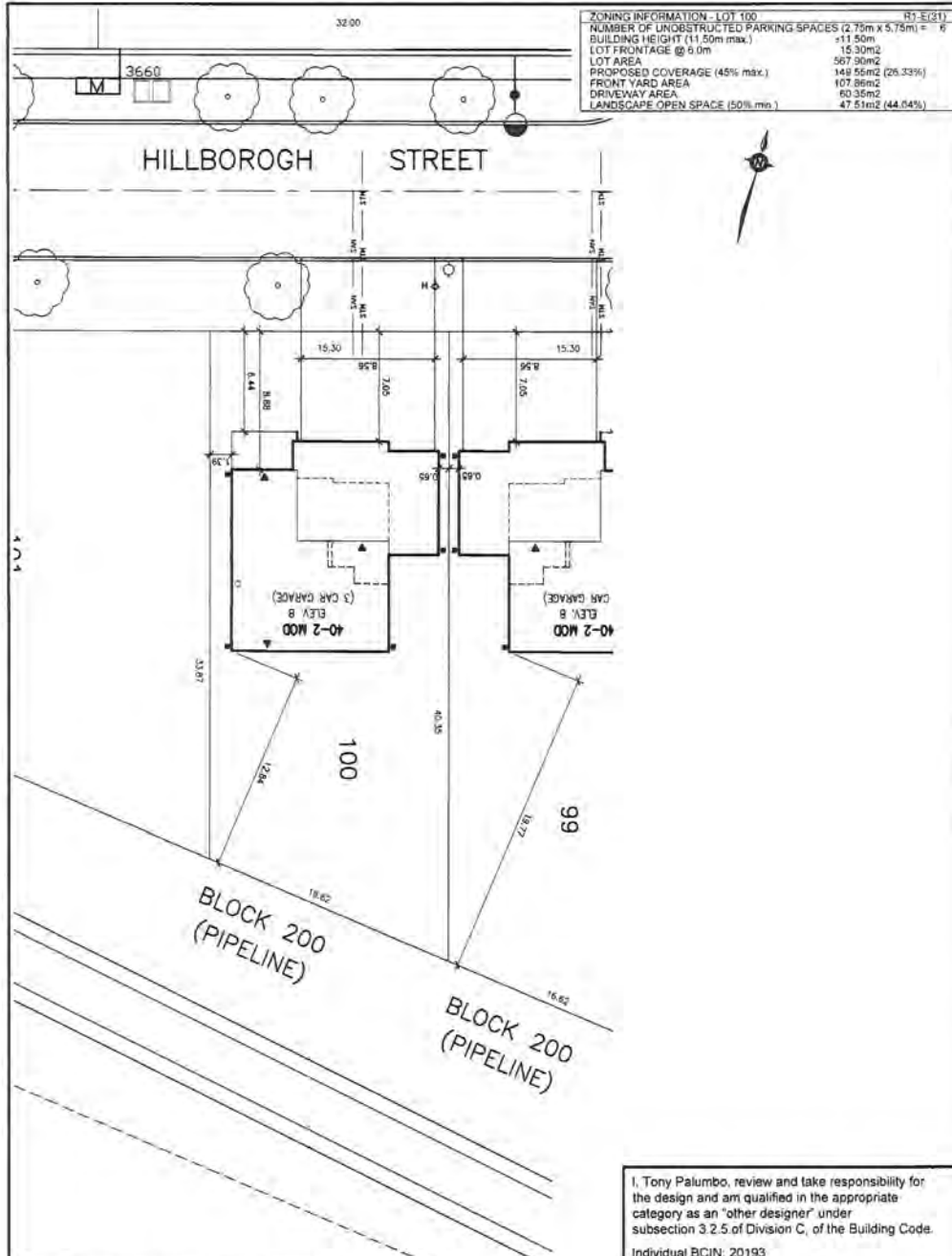




Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



ZONING INFORMATION - LOT 100		R1 E(21)
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) =		6
BUILDING HEIGHT (11.50m max.)	+11.50m	
LOT FRONTAGE @ 6.0m	15.30m <sup>2</sup>	
LOT AREA	567.36m <sup>2</sup>	
PROPOSED COVERAGE (45% max.)	149.55m <sup>2</sup> (26.33%)	
FRONT YARD AREA	107.86m <sup>2</sup>	
DRIVEWAY AREA	80.35m <sup>2</sup>	
LANDSCAPE OPEN SPACE (50% min.)	47.51m <sup>2</sup> (44.04%)	

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS/HER OWN EXPENSE.  
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FF	FINISHED FLOOR ELEVATION	—	HYDRO SERVICE LATERAL	SWAMP PUMP
UF	UNDERSIDE FOOTING ELEVATION	—	WATER SERVICE	COMMUNITY HASLEBOX
BF	FIN. BASEMENT FLOOR SLAB	—	—	RAIN WATER DOWNSPOUT LOCATION
TFW	TOP OF FOUNDATION WALL	—	—	(DISCHARGE ONTO SPLASHPAD)
URR	UNDERSIDE FOOTING AT REAR	—	—	(SWALE DIRECTION)
UFF	UNDERSIDE FOOTING AT FRONT	—	—	EMBANKMENT 3:1 SLOPE
MEE	MINIMUM BASEMENT ELEVATION	—	—	THIS LOT CONTAINS ENGINEERED FILL
WCB	WALK-OUT BASEMENT	—	—	RULE LEAD PRESENT CAUTION WHEN EXCAVATING
WB	WALK UP BASEMENT	—	—	RETAINING WALL
REV	REVERSE PLAN	—	—	RETRACT FENCE
△	EXTERIOR DOOR LOCATION	—	—	ISS (LANDSCAPE PLAN)
○	SIDE WINDOW LOCATION	—	—	CHAIN LINK FENCE
□	FLOOR FINISH	—	—	(SEE LANDSCAPE PLAN)
A	AIR CONDITIONER	—	—	—
RYU	REAR YARD UPGRADE	—	—	—
SYU	SIDE YARD UPGRADE	—	—	—

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Individual BCIN: 20193  
*Tony Palumbo*  
Signature

**Treasure Hill**  
1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-6500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS.**  
**CITY OF OSHAWA**

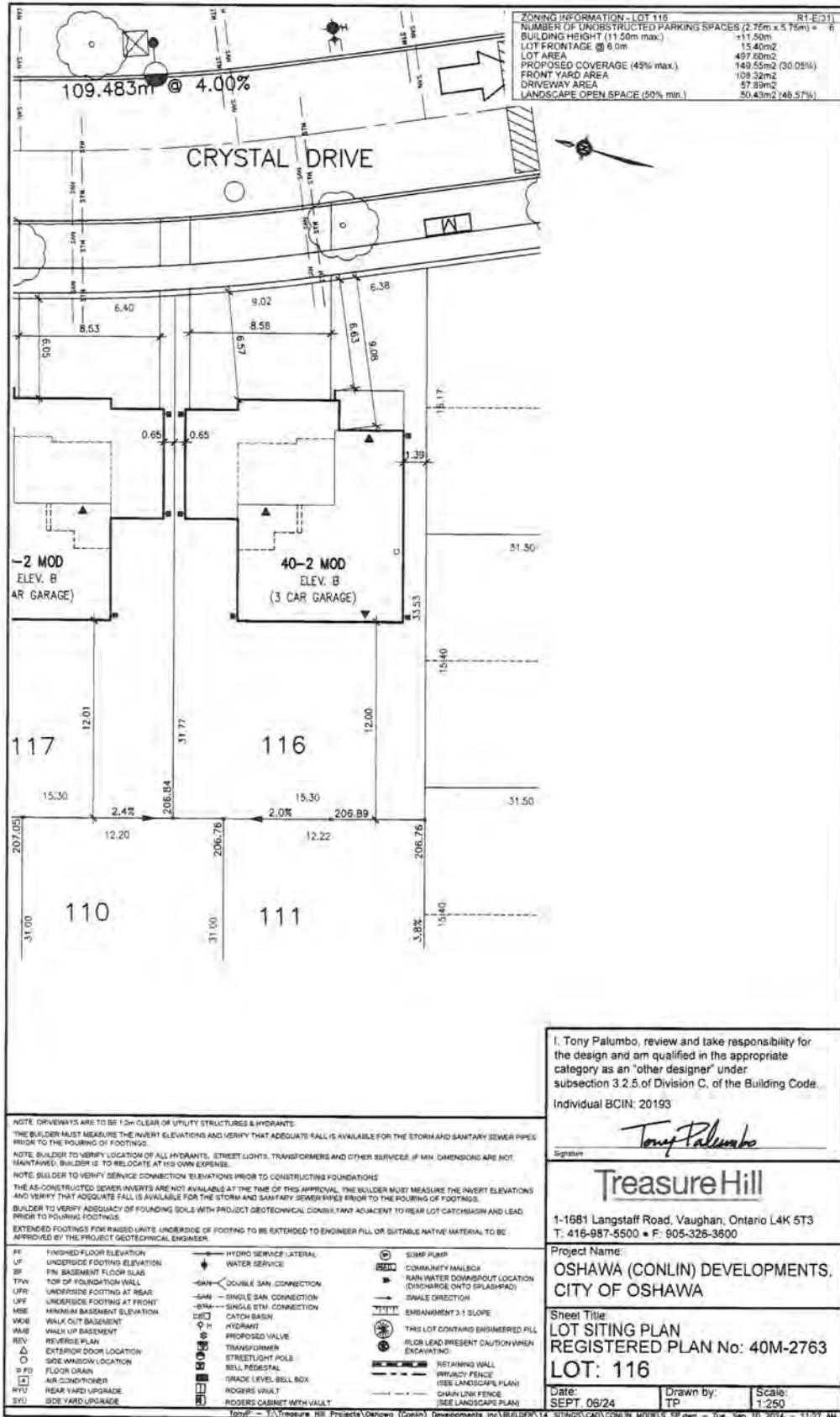
Sheet Title:  
**LOT SITING PLAN**  
**REGISTERED PLAN No: 40M-2783**  
**LOT: 100**

Date: SEPT. 06/24  
Drawn by: TF  
Scale: 1:300

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



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Signature

**Treasure Hill**

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
REGISTERED PLAN No: 40M-2763  
LOT: 116**

Date: SEPT 08/24  
Drawn by: TP  
Scale: 1:250

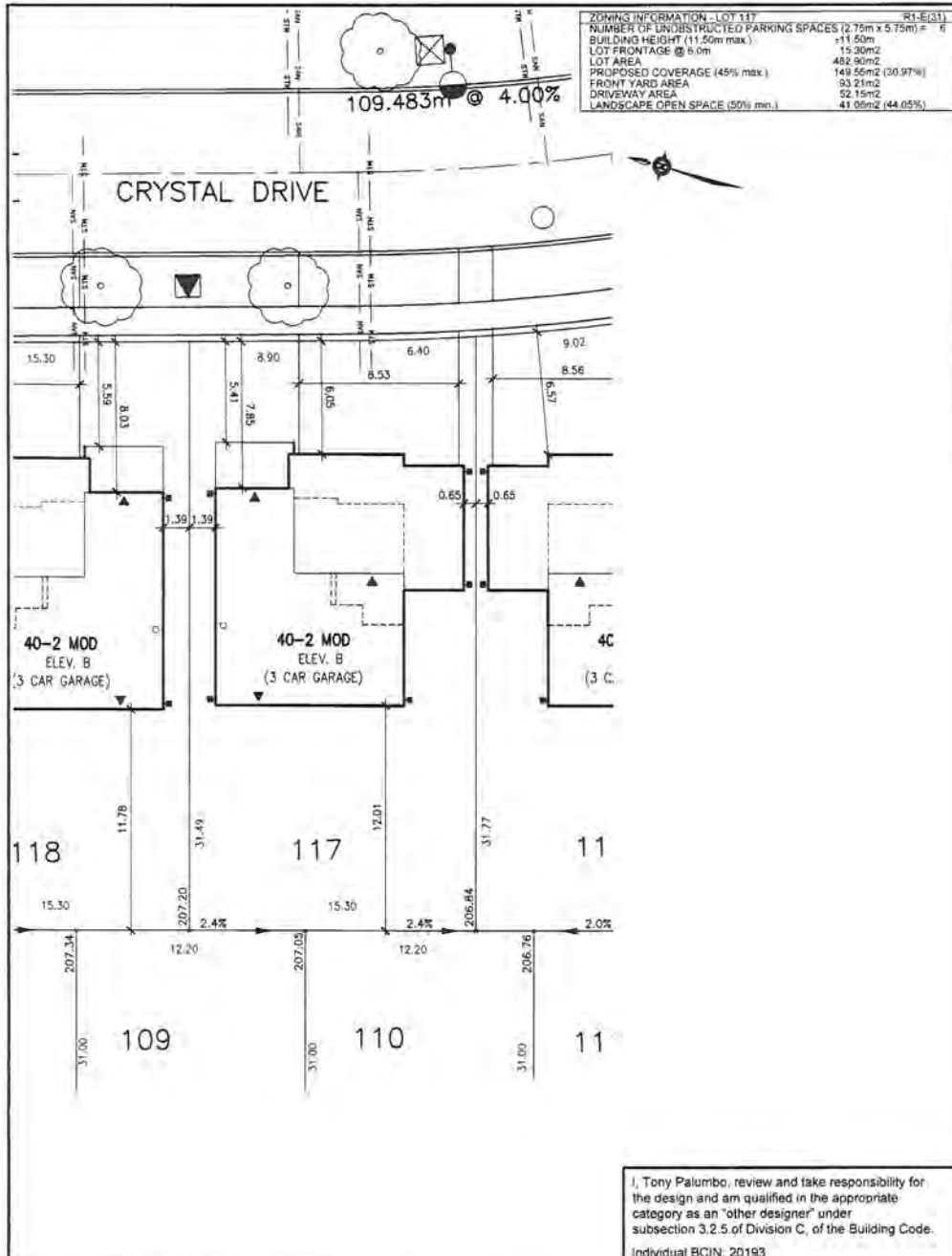
- NOTE: DRIVEWAYS ARE TO BE 1.5m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
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NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.  
THE AS CONNECTED SEWER INVERTS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL, THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.  
EXTENDED FOOTINGS FOR BRICKS WHITE UNDERLAGE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- |                                |                                     |   |
|--------------------------------|-------------------------------------|---|
| FF FINISHED FLOOR ELEVATION    | HYDRO SERVICE LATERAL WATER SERVICE | SEMP PUMP   |
| UF UNDERSIDE FOOTING ELEVATION | DOUBLE SAN. CONNECTION              | COMMUNITY MAILBOX   |
| BF FN. BASEMENT FLOOR SLAB     | SINGLE SAN. CONNECTION              | RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)                      |
| TFW TOP OF FOUNDATION WALL     | SINGLE STM. CONNECTION              | SMALL DIRECTION   |
| URF UNDERSIDE FOOTING AT REAR  | CATCH BASIN                         | EMBANKMENT 3:1 SLOPE  |
| UFP UNDERSIDE FOOTING AT FRONT | HYDRANT                             | THIS LOT CONTAINS ENGINEERED FILL (R/CB LEAD PRESENT CAUTION WHEN EXCAVATING) |
| MSE MINIMUM BASEMENT ELEVATION | PROPOSED VALVE                      | RETAINING WALL (SEE LANDSCAPE PLAN)   |
| WMB WALK OUT BASEMENT          | TRANSFORMER                         | CHAIN LINK FENCE (SEE LANDSCAPE PLAN)   |
| WAB WALK UP BASEMENT           | STREETLIGHT POLE                    |   |
| REV REVERSE PLAN               | BELL REDESTAL                       |   |
| ED EXTERIOR DOOR LOCATION      | GRADE LEVEL BELL BOX                |   |
| SD SIDE WINDOW LOCATION        | ROGERS WALL                         |   |
| FD FLOOR DRAIN                 | ROGERS CABINET WITH WALL            |   |
| AC AIR CONDITIONER             |                                     |   |
| RYT REAR YARD UPGRADE          |                                     |   |
| XYL SIDE YARD UPGRADE          |                                     |   |



Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
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 EXTENDED FOOTINGS FOR RAISED UNITS UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF FINISHED FLOOR ELEVATION	HYDR SERVICE LATERAL	SWAMP PUMP
UF UNDERSIDE FOOTING ELEVATION	WAYS SERVICE	COMMUNITY MAILBOX
BF FIN. BASEMENT FLOOR SLAB		RAIN WATER DOWNSPOUT LOCATION
TFW TOP OF FOUNDATION WALL	-SAN- DOUBLE SAN. CONNECTION	(DISCHARGE ONTO SPLASHPAD)
URF UNDERSIDE FOOTING AT REAR	-SAN- SINGLE SAN. CONNECTION	SWALE DIRECTION
UFF UNDERSIDE FOOTING AT FRONT	-S-C- DATCH BASIN	EMBANKMENT 3:1 SLOPE
MSE MINIMUM BASEMENT ELEVATION	-H- HYDRANT	THIS LOT CONTAINS ENGINEERED FILL
WOB WALK OUT BASEMENT	PROMISE VALVE	RIDE LEAD PRESENT CAUTION WHEN EXCAVATING
WUB WALK UP BASEMENT	TRANSFORMER	RETAINING WALL
REV REVERSE PLAN	STREETLIGHT POLE	PRIVATE FENCE
EW SIDE WINDOW LOCATION	BELL PEDESTAL	CHAIN LINK FENCE
FD FLOOR DRAIN	GRADE LEVEL BELL BOX	SEE LANDSCAPE PLAN
WIR WIR CONDITIONER	ROGERS VAULT	
RYU REAR YARD UPGRADE	ROGERS CABINET WITH VAULT	
SYU SIDE YARD UPGRADE		

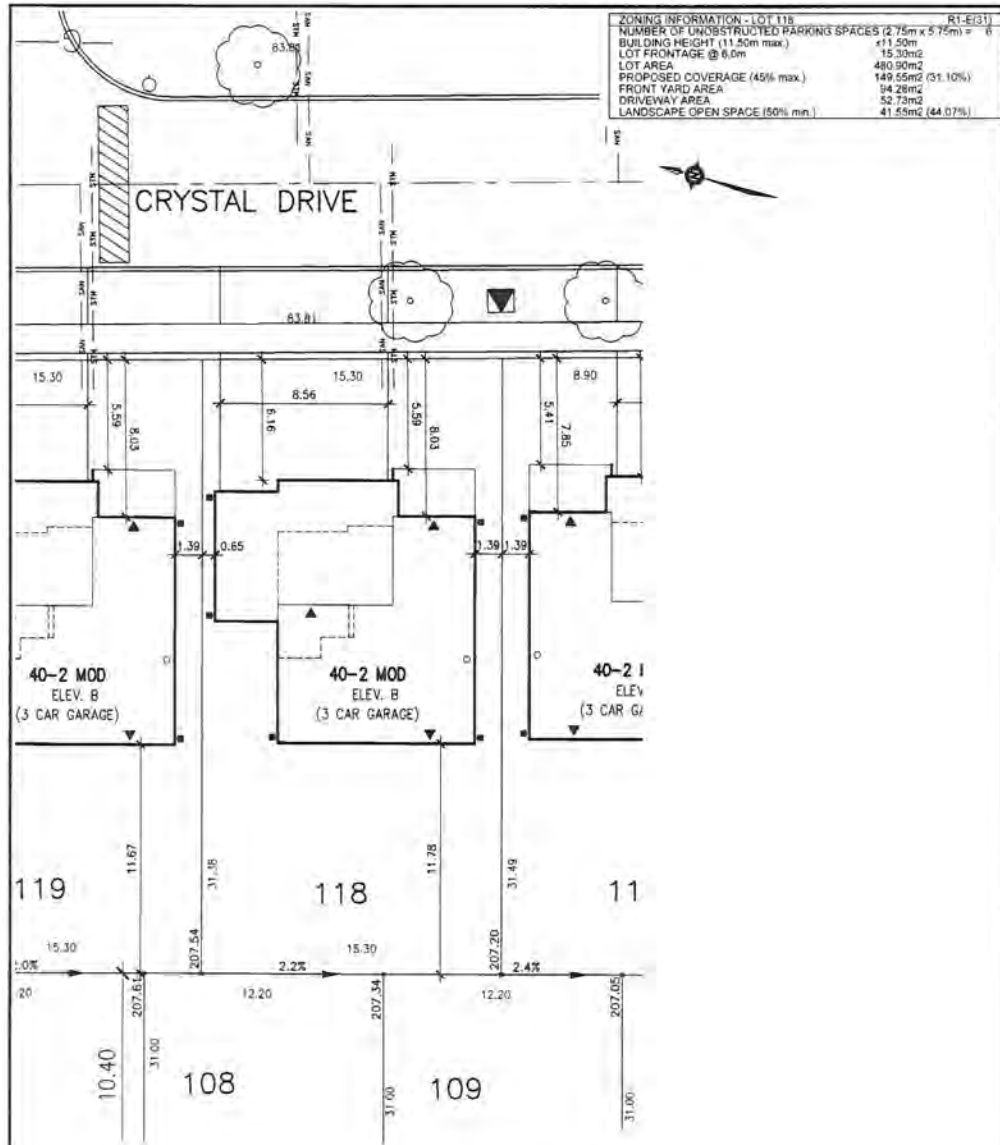
I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.  
 Individual BCIN: 20193  
 Signature: *Tony Palumbo*  
**Treasure Hill**  
 1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS.**  
**CITY OF OSHAWA**  
 Sheet Title:  
**LOT SITING PLAN**  
**REGISTERED PLAN No: 40M-2763**  
**LOT: 117**  
 Date: SEPT 06/24  
 Drawn by: TF  
 Scale: 1:250  
 11/27 AM

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



ZONING INFORMATION - LOT 118		R1-E3(1)
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m)		8
BUILDING HEIGHT (11.50m max.)		±11.50m
LOT FRONTAGE @ 6.0m		15.30m
LOT AREA		480.90m <sup>2</sup>
PROPOSED COVERAGE (45% max.)		149.55m <sup>2</sup> (31.10%)
FRONT YARD AREA		94.28m <sup>2</sup>
DRIVEWAY AREA		52.73m <sup>2</sup>
LANDSCAPE OPEN SPACE (50% min.)		41.55m <sup>2</sup> (8.65%)

NOTE: DRIVEWAYS ARE TO BE 1.3m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
 THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
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 THE ABOVE NOTICED SERVICE INVERTS ARE NOT AVAILABLE AT THE TIME OF THE APPROVAL. THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCH-BASH AND LEAD INLET TO POURING FOOTINGS.  
 EXTENDED FOOTINGS FOR RAISED LIMITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR DETAILED NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

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 Individual BCIN: 20193

*Tony Palumbo*  
 Signature

**Treasure Hill**

1-1581 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 ■ F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
 CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
 REGISTERED PLAN No: 40M-2763  
 LOT: 118**

FF FINISHED FLOOR ELEVATION	HYDRO SERVICE LATERAL	SLUMP PUMP
UF UNDERSIDE FOOTING ELEVATION	WATER SERVICE	COMMUNITY MALLECK
BF FIN. BASEMENT FLOOR SLAB		RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW TOP OF FOUNDATION WALL	DOUBLE SAN CONNECTION	SWALE DIRECTION
UFR UNDERSIDE FOOTING AT REAR	SAN SINGLE SAN CONNECTION	EMBANKMENT 3:1 SLOPE
UFR UNDERSIDE FOOTING AT FRONT	SAN SINGLE STN CONNECTION	THIS LOT CONTAINS ENGINEERED FILL
MBE MINIMUM BASEMENT ELEVATION	CATCH BASIN	R/CLS LEAD PRESENT CAUTION WHEN EXCAVATING
WOB WALK OUT BASEMENT	HYDRANT	RETAINING WALL
WOB WALK UP BASEMENT	PROPOSED VALVE	PRIVACY FENCE (SEE LANDSCAPE PLAN)
REV REVERSE PLAN	TRANSFORMER	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
ED EXTERIOR DOOR LOCATION	STREET LIGHT POLE	
OW SIDE WINDOW LOCATION	WELL FEEDSTAL	
FD FLOOR DRAIN	GRADE LEVEL BELL BOX	
AC AIR CONDITIONER	ROGERS VAULT	
RYL REAR YARD UPGRADE	ROGERS CABINET WITH WELL	
SYU SIDE YARD UPGRADE		

Date: SEPT 06/24  
 Drawn by: TP  
 Scale: 1:250

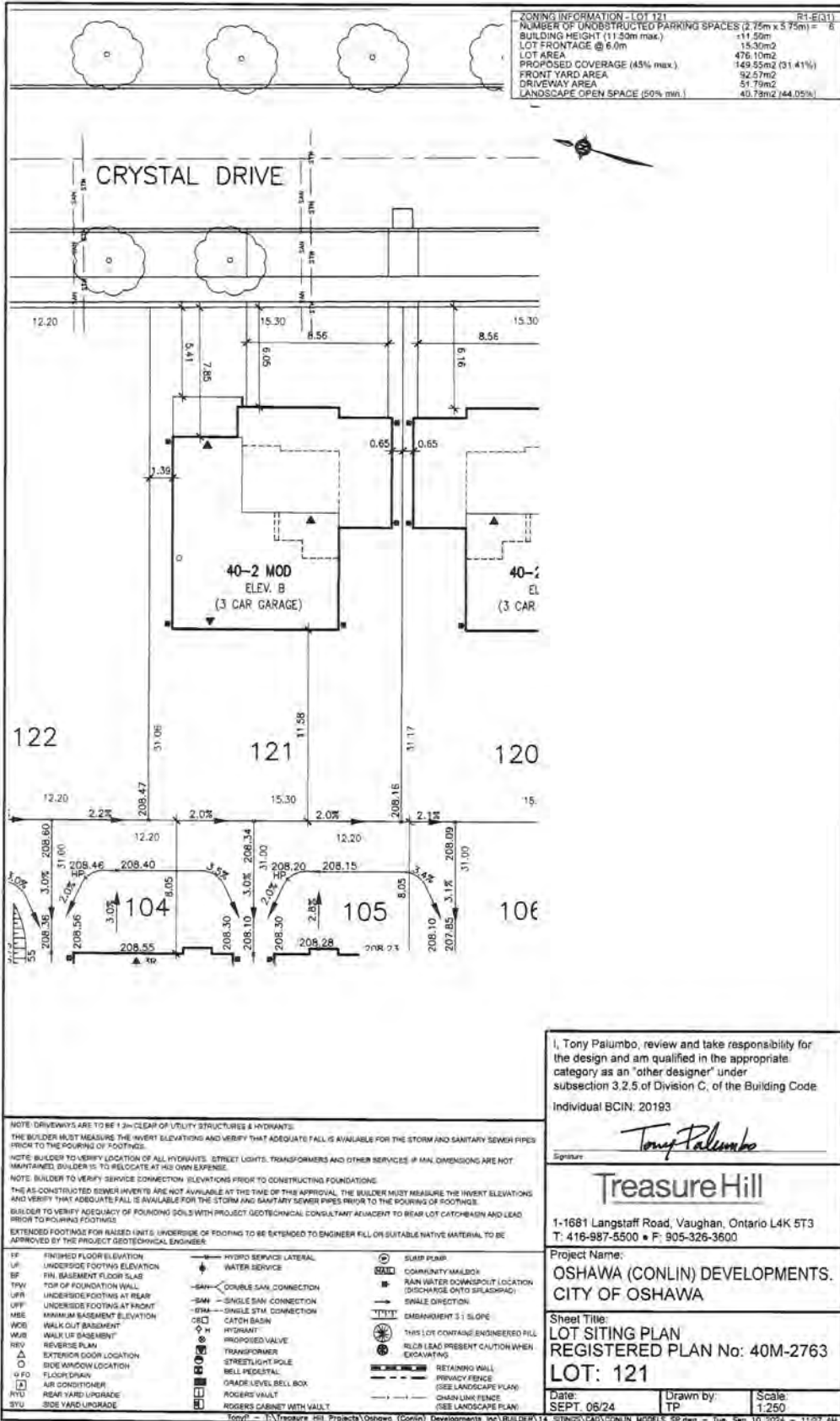
H:\PLAN07\11\_Mgmt\OS-Data Trans\Attachments - Committee\Attachments\2024\13 - Oct 2\pfsa-2024-103.pdf







Address: 1340 Conlin Road East



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*Tony Palumbo*

**Treasure Hill**  
1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
REGISTERED PLAN No: 40M-2763  
LOT: 121**

Date: **SEPT 06/24** Drawn by: **TP** Scale: **1:250**

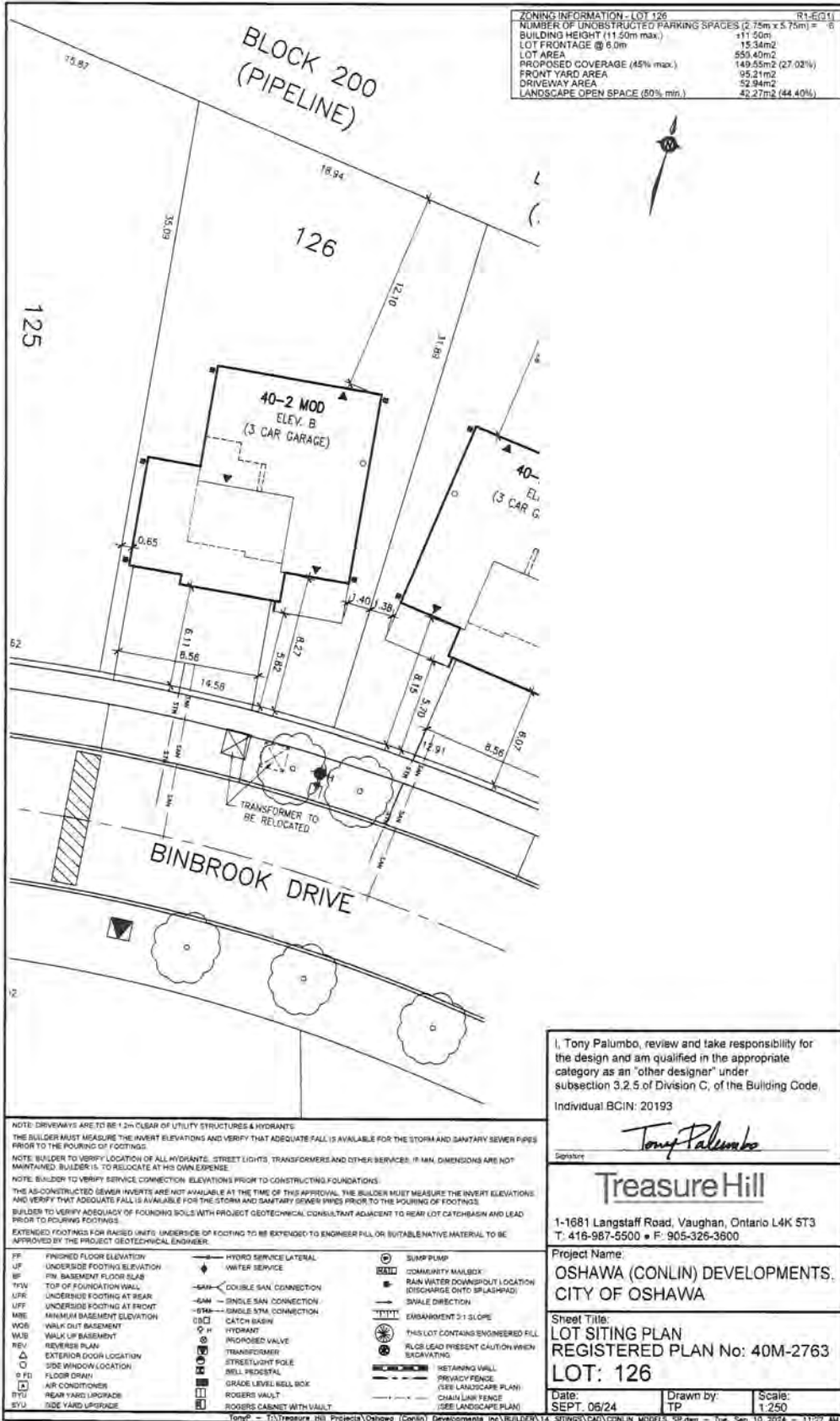
- NOTE: DRIVEWAYS ARE TO BE 1.3m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
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EXTENDED FOOTINGS FOR BASED INITS, UNDERCO OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- |                                  |                          |  |
|----------------------------------|--------------------------|--|
| FF FINISHED FLOOR ELEVATION      | HYDRO SERVICE LATERAL    | SLAB PUMP  |
| UF UNDERSIDE FOOTING ELEVATION   | WATER SERVICE            | COMMUNITY MAILBOX  |
| BF FIN. BASEMENT FLOOR SLAB      |                          | RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPREADPAD) |
| TFW TOP OF FOUNDATION WALL       |                          | SWALE DIRECTION  |
| UFFR UNDERSIDE FOOTINGS AT REAR  | DOUBLE SAN. CONNECTION   | EMBANKMENT 3:1 SLOPE                                     |
| UFFR UNDERSIDE FOOTINGS AT FRONT | SINGLE SAN. CONNECTION   |  |
| MBE MINIMUM BASEMENT ELEVATION   | SINGLE STW. CONNECTION   | THIS LOT CONTAINS ENGINEERED FILL                        |
| WCB WALK OUT BASEMENT            | CATCH BASIN              | RELOC LEAD PRESENT CAUTION WHEN EXCAVATING               |
| WUB WALK UP BASEMENT             | HYDRANT                  | RETAINING WALL   |
| REV REVERSE PLAN                 | PROPOSED VALVE           | PRIVACY FENCE (SEE LANDSCAPE PLAN)                       |
| EDL EXTENSION DOOR LOCATION      | TRANSFORMER              | CHAIN LINK FENCE (SEE LANDSCAPE PLAN)                    |
| EDL EXTENSION DOOR LOCATION      | STREETLIGHT POLE         |  |
| FD FLOOR DRAIN                   | BELL PEDESTAL            |  |
| AC AIR CONDITIONER               | GRADE LEVEL BELL BOX     |  |
| RYO REAR YARD UPGRADE            | ROGERS VAULT             |  |
| RYO REAR YARD UPGRADE            | ROGERS CABINET WITH WALL |  |



Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



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*Tony Palumbo*  
Signature

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 1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS, CITY OF OSHAWA**

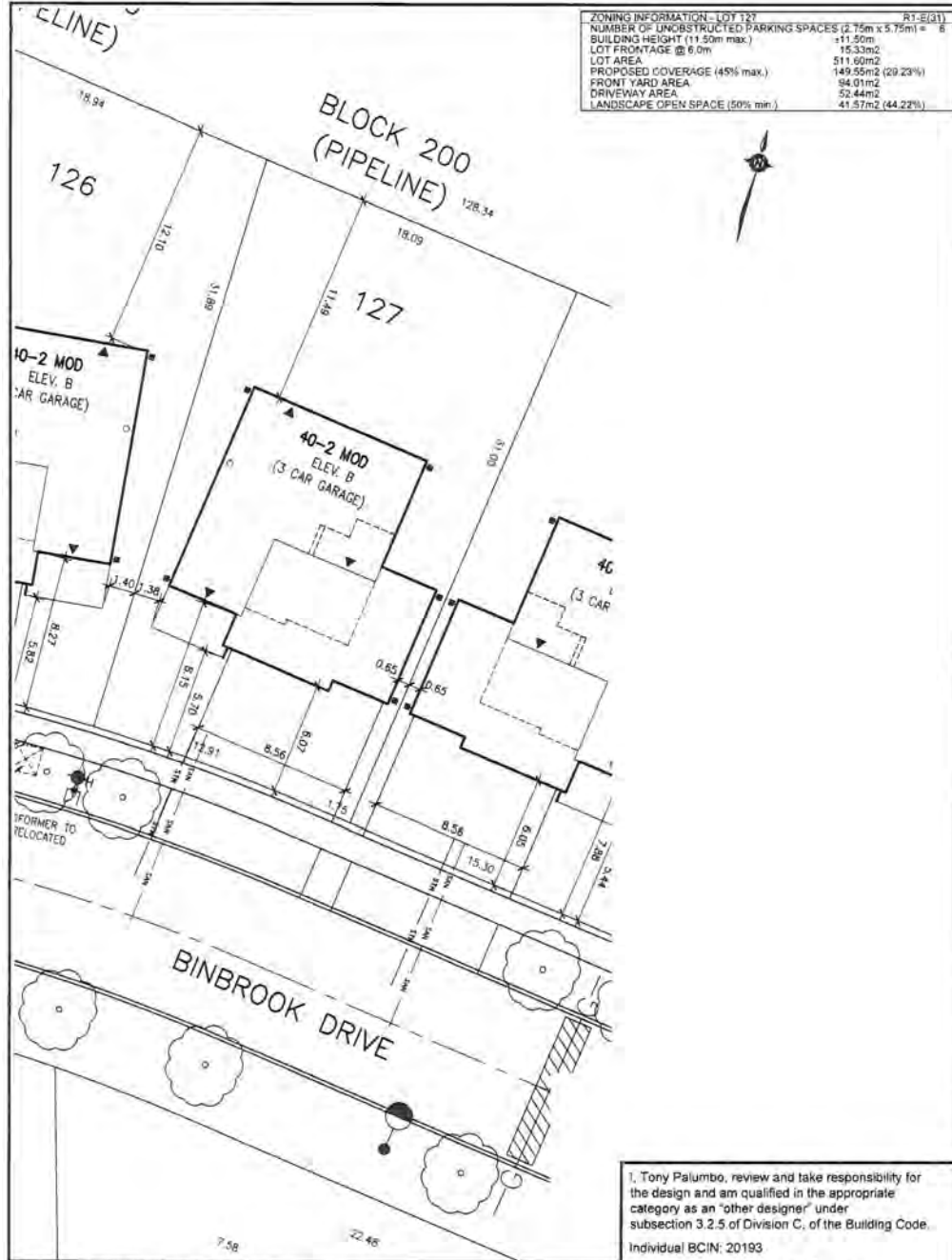
Sheet Title:  
**LOT SITING PLAN REGISTERED PLAN No: 40M-2763 LOT: 126**

Date: SEPT 05/24  
 Drawn by: TP  
 Scale: 1:250

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
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 EXTENDED FOOTINGS FOR BASED UNITS UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF	FRESHED FLOOR ELEVATION	HYDRO SERVICE LATERAL	BUMP FLAP
UF	UNDERSIDE FOOTING ELEVATION	WATER SERVICE	COMMUNITY MAILBOX
BF	FIN. BASEMENT FLOOR SLAB		RAIN WATER DOWNSPOUT LOCATION (DISCHARGE INTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	DOUBLE SAN. CONNECTION	SWALE DIRECTION
UFR	UNDERSIDE FOOTING AT REAR	SAN -- SINGLE SAN. CONNECTION	EMBANKMENT 3:1 SLOPE
UFR	UNDERSIDE FOOTING AT FRONT	SIM -- SINGLE STM. CONNECTION	THIS LOT CONTAINS ENGINEERED FILL
MBE	MINIMUM BASEMENT ELEVATION	CATCH BASIN	R/CB LEAD PRESENT CAUTION WHEN EXCAVATING
WOB	WALK OUT BASEMENT	HYDRANT	RETAINING WALL
WUB	WALK UP BASEMENT	PROPOSED VALVE	PRIVACY FENCE (SEE LANDSCAPE PLAN)
REV	REVERSE PLAN	TRANSFORMER	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
EX	EXTERIOR DOOR LOCATION	STREETLIGHT POLE	
SI	SIDE WINDOW LOCATION	BELL PEDestal	
FD	FLOOR DRAIN	GRADE LEVEL BELL BOX	
AC	AIR CONDITIONER	ROGERS VAULT	
RYU	REAR YARD UPGRADE	ROGERS CABINET WITH VAULT	
SYU	SIDE YARD UPGRADE		

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 Individual BCIN: 20193  
 Signature: *Tony Palumbo*

**Treasure Hill**  
 1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 ■ F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS, CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN REGISTERED PLAN No: 40M-2763 LOT: 127**

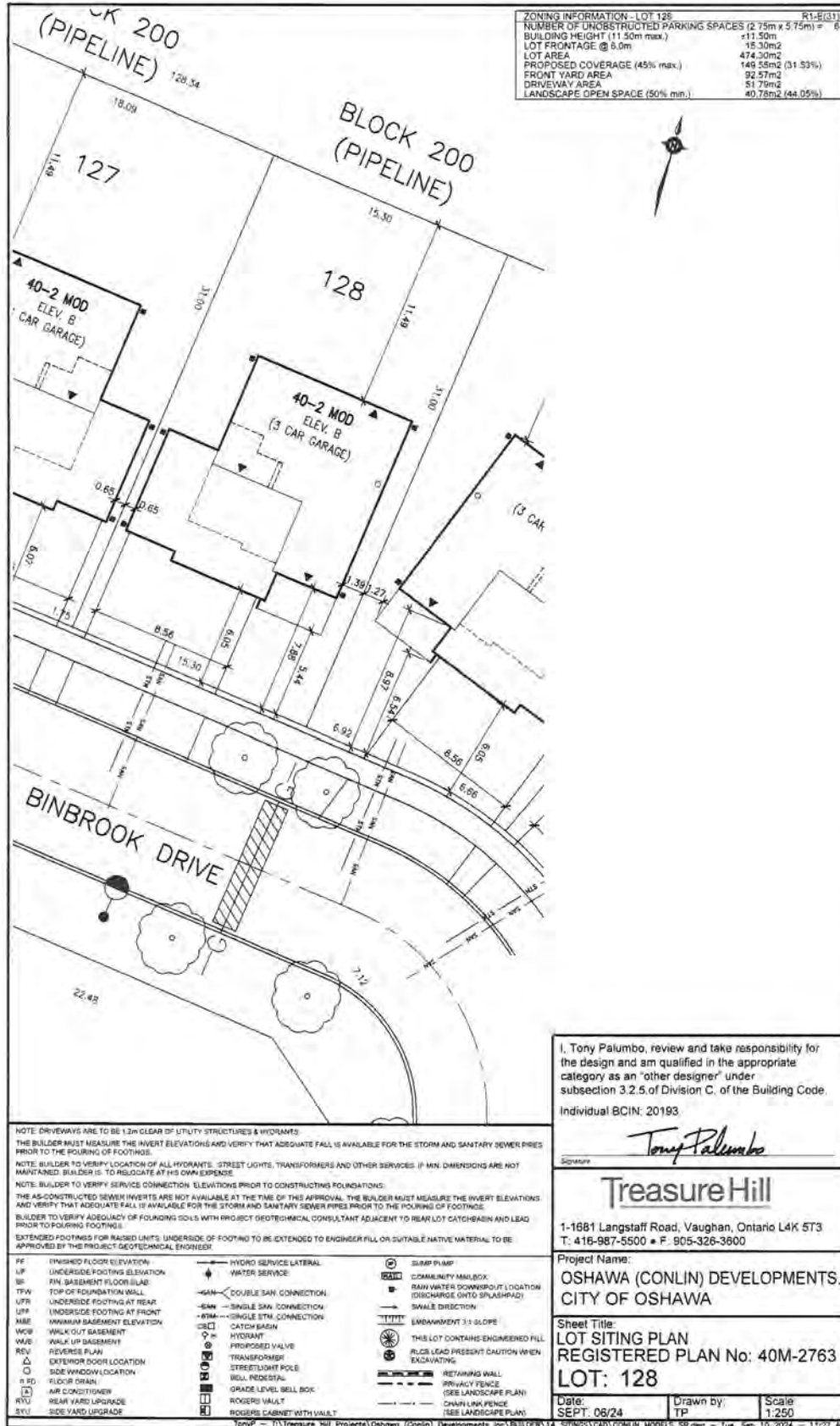
Date: SEPT. 06/24  
 Drawn by: TP  
 Scale: 1:250



Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



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*Tony Palumbo*  
Signature

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T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
REGISTERED PLAN No: 40M-2763  
LOT: 128**

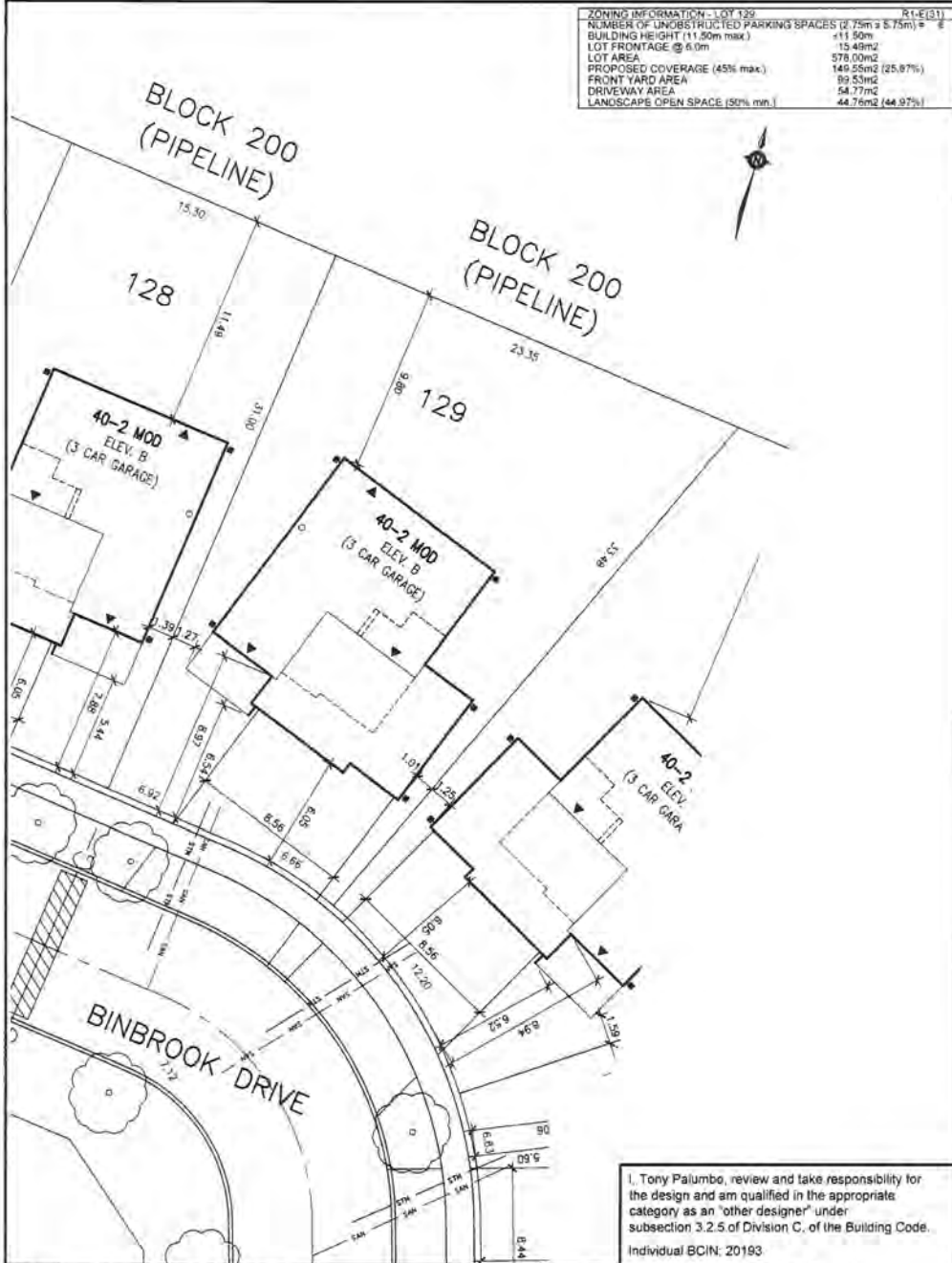
Date: SEPT. 06/24  
Drawn by: TP  
Scale: 1/250

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services

ZONING INFORMATION - LOT 129		R1-E(31)
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) =	8	
BUILDING HEIGHT (11.30m max.)	< 11.30m	
LOT FRONTAGE @ 6.0m	13.49m	
LOT AREA	576.00m <sup>2</sup>	
PROPOSED COVERAGE (45% max.)	149.55m <sup>2</sup> (25.97%)	
FRONT YARD AREA	89.53m <sup>2</sup>	
DRIVEWAY AREA	54.77m <sup>2</sup>	
LANDSCAPE OPEN SPACE (50% min.)	44.76m <sup>2</sup> (44.97%)	



NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
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*Tony Palumbo*  
 Signature

**Treasure Hill**  
 1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
 CITY OF OSHAWA**

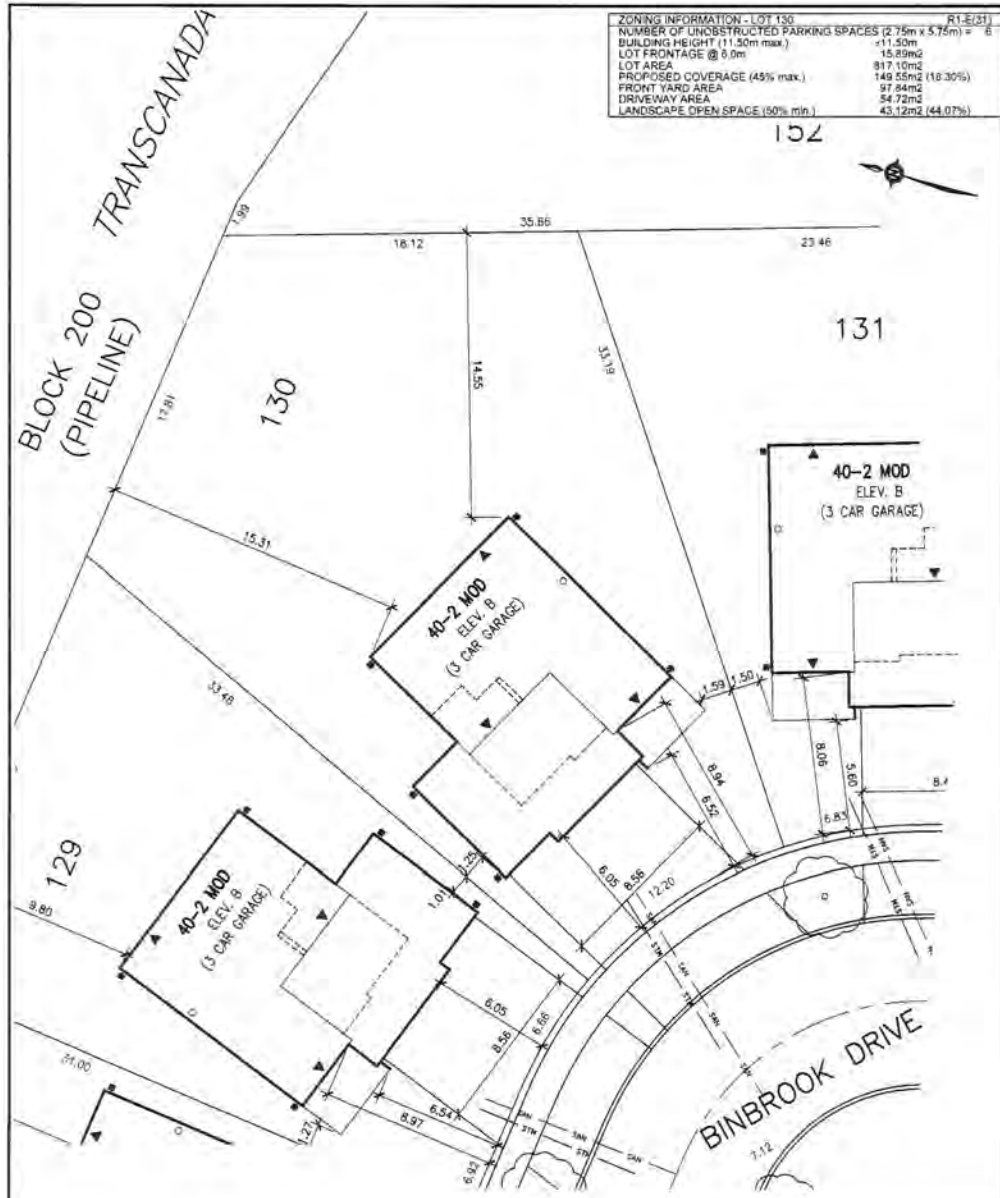
Sheet Title:  
**LOT SITING PLAN  
 REGISTERED PLAN No: 40M-2763  
 LOT: 129**

FF	FINISHED FLOOR ELEVATIONS	—	HYDRO SERVICE LATERAL	⊗	SLUMP RAMP
UF	UNDERSIDE FOOTING ELEVATION	—	WATER SERVICE	⊗	COMMUNITY HAS/BOX
BF	FIN. BASEMENT FLOOR SLAB	—	—	—	RAIN WATER DOWNGUT LOCATION (DISCHARGE ONTO SPLAINPAD)
TFW	TOP OF FOUNDATION WALL	—	—	—	SWALE DIRECTION
UFR	UNDERSIDE FOOTING AT REAR	—	—	—	EMBANKMENT 3:1 SLOPE
UFP	UNDERSIDE FOOTING AT FRONT	—	—	—	THIS LOT CONTAINS ENGINEERED FILL
MBC	MINIMUM BASEMENT ELEVATION	—	—	—	PILE LOAD PRESENT CAUTION WHEN EXCAVATING
WOB	WALK OUT BASEMENT	—	—	—	RETAINING WALL
WUB	WALK UP BASEMENT	—	—	—	PRIVATE FENCE (SEE LANDSCAPE PLAN)
REV	REVERSE PLAN	—	—	—	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
ED	EXTERIOR DOOR LOCATION	—	—	—	—
SD	SIDE WINDOW LOCATION	—	—	—	—
FD	FLOOR DRAIN	—	—	—	—
AC	AIR CONDITIONER	—	—	—	—
RYU	REAR YARD UPGRADE	—	—	—	—
RYU	REAR YARD UPGRADE	—	—	—	—

Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



ZONING INFORMATION - LOT 130	
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) =	8
BUILDING HEIGHT (11.30m max.)	<math>\leq 11.50m</math>
LOT FRONTAGE @ 0.0m	15.29m
LOT AREA	817.10m <sup>2</sup>
PROPOSED COVERAGE (45% max.)	149.55m <sup>2</sup> (18.30%)
FRONT YARD AREA	97.84m <sup>2</sup>
DRIVEWAY AREA	54.72m <sup>2</sup>
LANDSCAPE OPEN SPACE (50% min.)	43.12m <sup>2</sup> (44.07%)

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Individual BCIN: 20193

*Tony Palumbo*  
Signature

**Treasure Hill**

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-967-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
REGISTERED PLAN No: 40M-2763  
LOT: 130**

Date: SEPT 06/24  
Drawn by: TTP  
Scale: 1:250

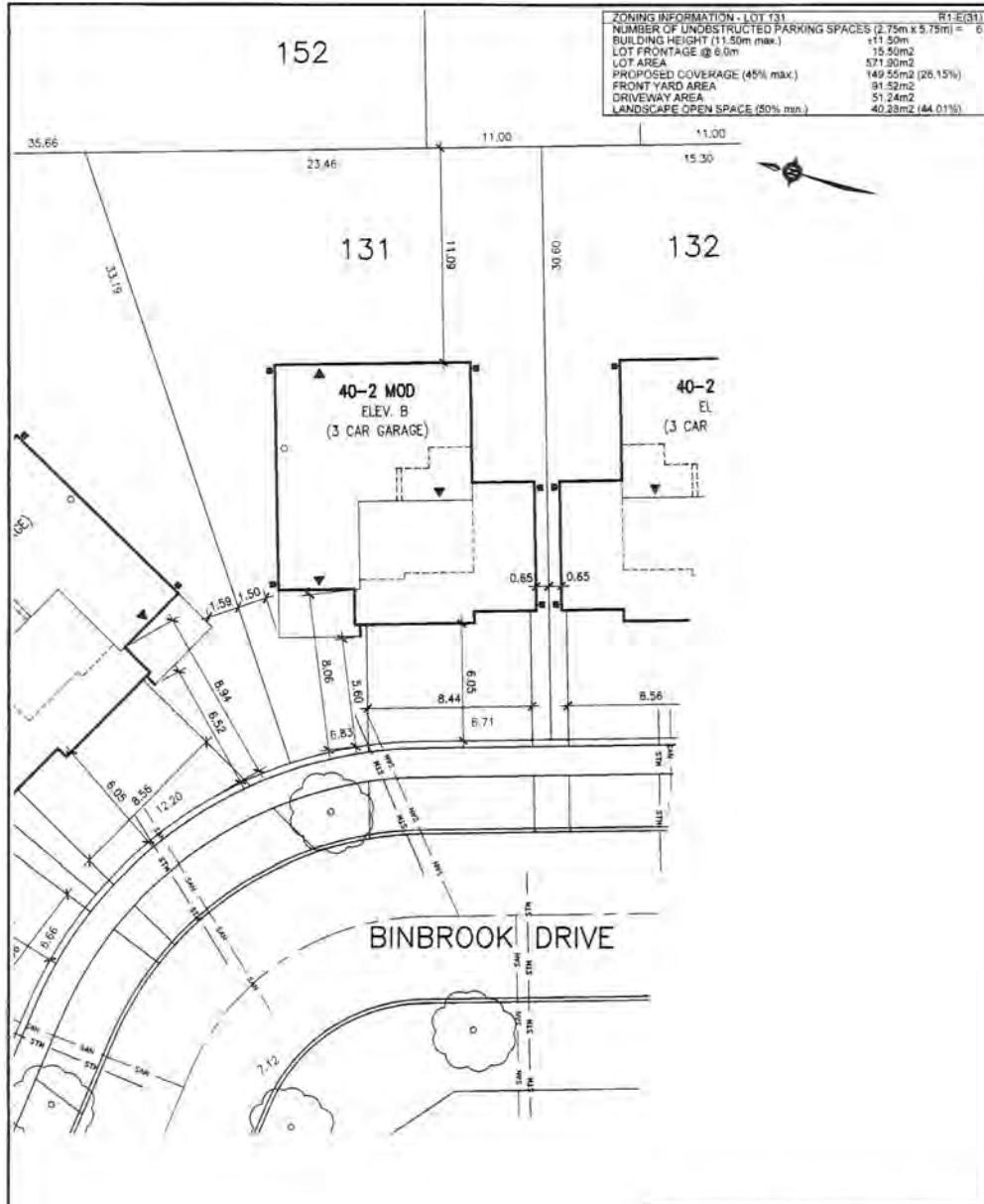
FF FINISHED FLOOR ELEVATION	HYDRO SERVICE LATERAL	SUMP PUMP
UF UNDERSIDE FOOTING ELEVATION	WATER SERVICE	COMMUNITY MAILBOX
BF FIN BASEMENT FLOOR SLAB		RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW TOP OF FOUNDATION WALL	DOUBLE SAN CONNECTION	SWALE DIRECTION
URF UNDERSIDE FOOTING AT REAR	SAN SINGLE SAN CONNECTION	EMBANKMENT 3:1 SLOPE
UFF UNDERSIDE FOOTING AT FRONT	STRA SINGLE STR CONNECTION	THIS LOT CONTAINS ENGINEERED FILL
MSE MINIMUM BASEMENT ELEVATION	CATCH BASIN	RCS LEAD PRESENT CAUTION WHEN EXCAVATING
WCB WALK OUT BASEMENT	HYDRANT	RETAINING WALL
REV REVERSE PLAN	PROPOSED VALVE	PRIVACY FENCE (SEE LANDSCAPE PLAN)
ED EXTERIOR DOOR LOCATION	TRANSFORMER	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
SL SIDE WALKWAY LOCATION	STREETLIGHT POLE	
FD FLOOR DRAIN	BELL PEDESTAL	
AC AIR CONDITIONER	GRADE LEVEL BELL BOX	
RYU REAR YARD UPGRADE	ROOFING WHIST	
SYU SIDE YARD UPGRADE	ROOFING CABINET WITH VALVE	



Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



ZONING INFORMATION - LOT 131		R1-EG31
NUMBER OF UNOBSTRUCTED PARKING SPACES (2.75m x 5.75m) =	6	
BUILDING HEIGHT (11.50m max.)	±11.50m	
LOT FRONTAGE @ 6.0m	75.50m <sup>2</sup>	
LOT AREA	571.30m <sup>2</sup>	
PROPOSED COVERAGE (45% max.)	149.55m <sup>2</sup> (26.15%)	
FRONT YARD AREA	91.52m <sup>2</sup>	
DRIVEWAY AREA	51.24m <sup>2</sup>	
LANDSCAPE OPEN SPACE (80% min.)	40.28m <sup>2</sup> (44.01%)	

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
 THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES, IF ANY. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.  
 NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.  
 THE AS-CO-CONSTRUCTED SEWER INVERTS ARE NOT AVAILABLE AT THE TIME OF THIS APPROVAL. THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.  
 EXTENDED FOOTINGS FOR RAISED UNITS UNDERGOING OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.  
 Individual BCIN: 20193

*Tony Palumbo*  
 Signature

**Treasure Hill**

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
 CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
 REGISTERED PLAN No: 40M-2763  
 LOT: 131**

FF FINISHED FLOOR ELEVATION	HYDRIC SERVICE LATERAL	Q SUMP PUMP
UF UNDERSIDE FOOTING ELEVATION	WATER SERVICE	CM COMMUNITY MAILBOX
BF FIN. BASEMENT FLOOR SLAB		RW RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFV TOP OF FOUNDATION WALL		SD SWALE DIRECTION
UFR UNDERSIDE FOOTING AT REAR	DB DOUBLE SAN. CONNECTION	EM EMBANKMENT 5:1 SLOPE
UFR UNDERSIDE FOOTING AT FRONT	SB SINGLE SAN. CONNECTION	TE THIS LOT CONTAINS ENGINEERED FILL
MSE MINIMUM BASEMENT ELEVATION	CB CATCH BASIN	RLB RLB LEAD PRESENT CAUTION WHEN EXCAVATING
WB3 WALK OUT BASEMENT	PI PROPOSED VALVE	RM RETAINING WALL
WB4 WALK UP BASEMENT	TR TRANSFORMER	PF PRIVACY FENCE (SEE LANDSCAPE PLAN)
REV REVERSE PLAN	STL STREETLIGHT POLE	SL SPRAIN LINE FENCE (SEE LANDSCAPE PLAN)
ED EXTERIOR DOOR LOCATION	BD BELL PEDERETAL	
SW WINDOW LOCATION	GL GRADE LEVEL BELL BOX	
FD FLOOR DRAIN	RV ROGERS VAULT	
AC AIR CONDITIONER	RC ROGERS CABINET WITH VALVE	
RYL REAR YARD UPGRADE		
SYU SIDE YARD UPGRADE		

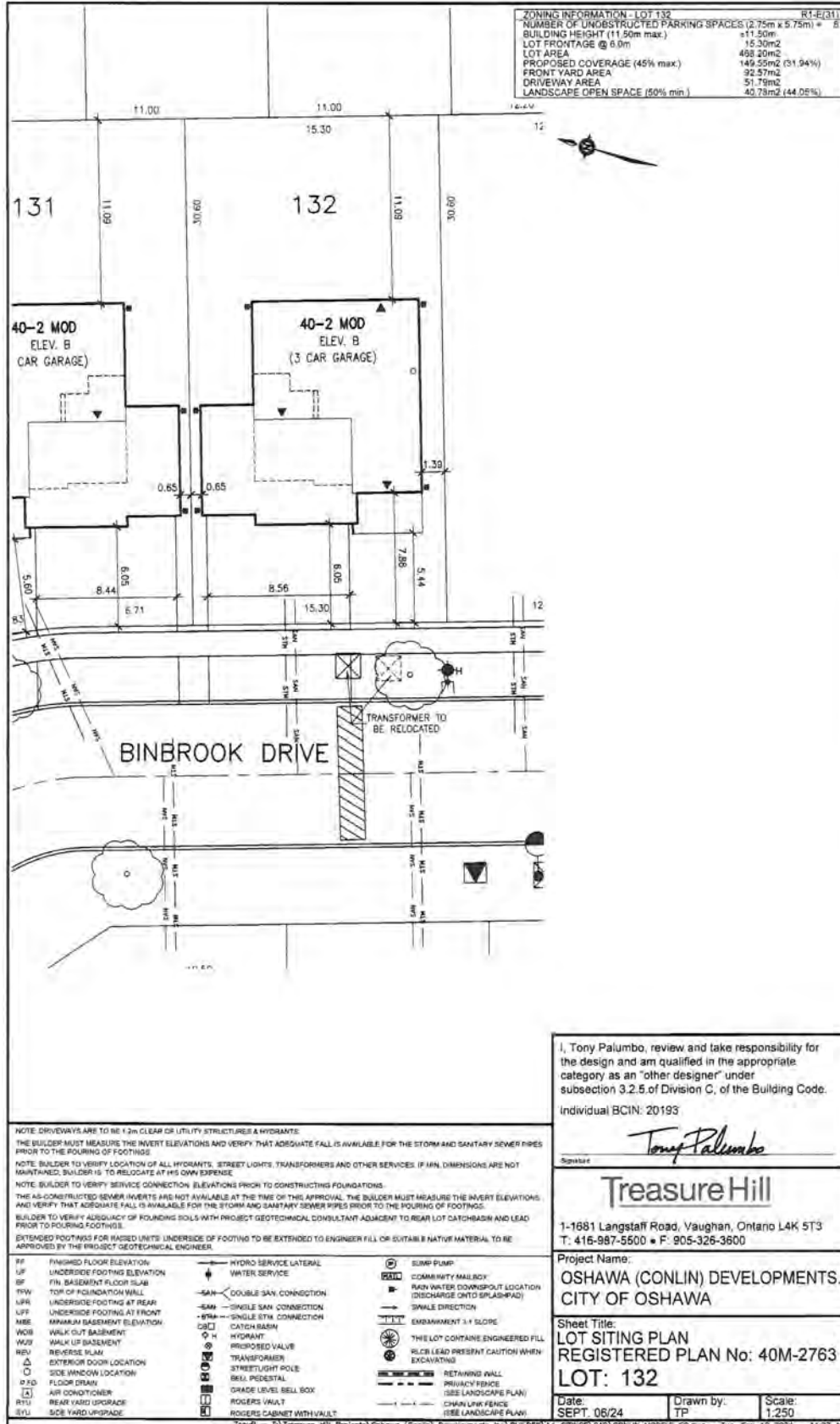
Date: SEPT 05/24  
 Drawn by: TP  
 Scale: 1:250



Address: 1340 Conlin Road East



City of Oshawa  
Economic and Development Services



I, Tony Palumbo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.  
Individual BCIN: 20193

*Tony Palumbo*  
Signature

### Treasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**OSHAWA (CONLIN) DEVELOPMENTS,  
CITY OF OSHAWA**

Sheet Title:  
**LOT SITING PLAN  
REGISTERED PLAN No: 40M-2763  
LOT: 132**

Date: SEPT 06/24  
Drawn by: TP  
Scale: 1:250



## Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on October 2, 2024 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2024-87**) submitted by **3950 Simcoe Street North Inc.** for **3860 Simcoe Street North** (CON 7 PT LT 13 AND 14 AND PT RDAL BTN LTS 14 AND 15), Oshawa for minor variances from the City’s Zoning By-law 60-94.

**Purpose and Effect:** The purpose and effect of the application is to permit a single detached dwelling with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a single detached dwelling in a AG-A (Agricultural) Zone.

Zoning Item	Column 1	Column 2
Minimum Lot Area	1,075m	4,000m
Maximum Lot Coverage	14%	10%

The subject site is also subject to an application for Consent (File B-2024-37).

You have been sent this notice because you own land close to the subject property.

### Meeting

This public meeting is open to the public and will take place in person in the C-Wing Committee Room, Oshawa City Hall, 50 Centre Street South. Members of the public wishing to verbally address the Committee through electronic means rather than appear in-person to make a delegation are required to submit their request to the City Contact shown below by 4:30 p.m. on September 30, 2024.

Members of the public are invited to submit correspondence concerning this matter. Please address your comments to the City Contact shown below by 4:30 p.m. on October 2, 2024 in order for your correspondence to be provided to Committee members for the October 2, 2024 public meeting.

The City of Oshawa’s Committee of Adjustment Calendar webpage ([www.oshawa.ca/cofacalendar](http://www.oshawa.ca/cofacalendar)) show upcoming meetings, agendas and a link to the live webstream player to enable easy access to view the meeting live.

**City Contact:** Deb Dutta, Oshawa City Hall, 50 Centre Street South, Oshawa, Ontario L1H 3Z7 or by telephone at 905-436-3311, extension 2376 or by email to [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca).

**How to submit written comments:** Written comments to the Committee must be received no later than 4:30 pm on October 2, 2024. Submissions are accepted by email at [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca) or by mailing the Committee of Adjustment at the address shown above. Please include your name, your address and application number or address of the property you are providing comments on.

**To Obtain Additional information:** For more information, contact the City Contact as shown above between 8:30 am and 4:30 pm Monday to Friday.

**To Access the Report:** A copy of the staff report is available by contacting the City Contact as shown above, after 3:00 pm, on September 27, 2024 or any day thereafter.

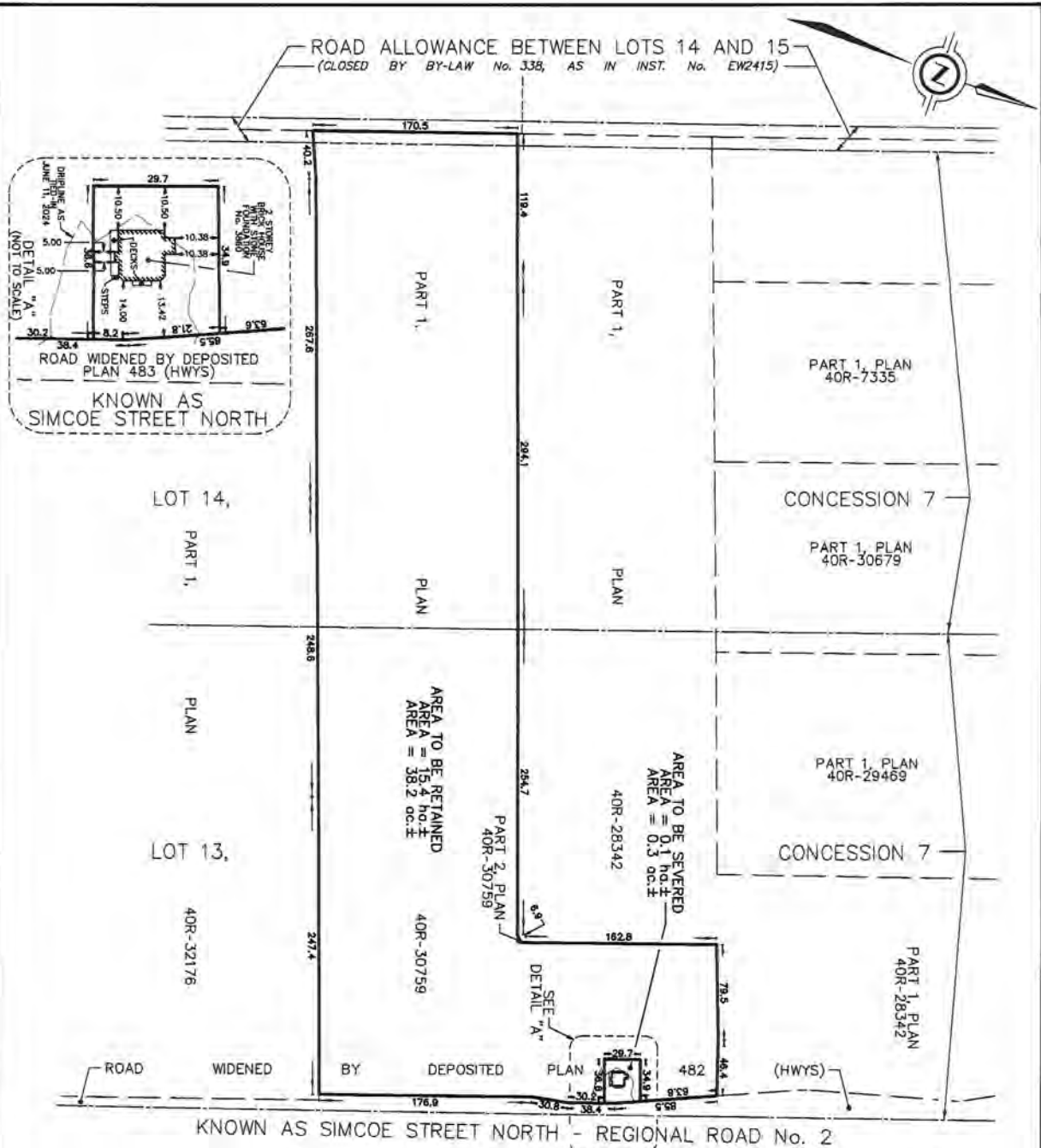
**Accessibility:** The City of Oshawa is committed to providing services as set out in the Accessibility for Ontarians with Disabilities Act, 2005. If you have accessibility needs and require alternate formats or other accommodations please contact the City Contact as shown above no later than September 30, 2024. Advance requests are highly encouraged to enable us to meet your needs adequately.

**Freedom of Information and Protection of Privacy Act:** Information will be collected in accordance with the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record.

This Notice issued September 20, 2024.

Address: 3860 Simcoe Street North

City of Oshawa  
Economic and Development Services



SEVERANCE SKETCH OF  
**PART OF LOTS 13 AND 14**  
**CONCESSION 7**  
(GEOGRAPHIC TOWNSHIP OF EAST WHITBY)  
NOW IN THE  
**CITY OF OSHTAWA**  
REGIONAL MUNICIPALITY OF DURHAM  
SCALE 1 : 3500



J.D. BARNES LIMITED  
© COPYRIGHT 2024

**METRIC** DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

GRANTOR'S NAME: SORBARA

**LEGEND**  
— DENOTES GRANTOR'S HOLDINGS

**J. D. BARNES**  
LAND INFORMATION SPECIALISTS  
LIMITED  
1180 SCOTIA COURT (SUITE 200) WINDY OAK, ONTARIO  
L1R 0Y9  
TEL: (905) 221-2121 FAX: (905) 221-2101 www.jdbarnes.com

R.B.	DATE
G.C.L.	06/03/24
6/19/2024	DATE
24-25-243-02-A	REF. NO.





Committee of Adjustment

File: **B-2024-37**

Ward: **1**

## **Notice of Hearing under the Planning Act Concerning an Application for Consent**

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on October 2, 2024 at 6:00 p.m. to consider the Committee of Adjustment Application (File **B-2024-37**) submitted by **3950 Simcoe Street North Inc.** for **3860 Simcoe Street North** (CON 7 PT LT 13, 14 AND PT RD ALLOWANCE BETWEEN LT 14, 15, NOW RP 40R-11031 PT 3 TO 5), Oshawa for consent.

**Purpose and Effect:** The purpose and effect of the application is to sever a 0.1 hectare parcel of land with an existing single detached dwelling, retaining a 15.4 hectare parcel of land with existing agricultural uses. An additional purpose and effect of the application is to establish a temporary access easement over the severed lands in favour of the retained lands.

The subject site is also subject to an application for Minor Variance (File: A-2024-87).

You have been sent this notice because you own land close to the subject property.

In accordance with Ontario regulation 197/96, as amended, if you own a building containing more than 7 (seven) residential units, you must post this public notice in a location that is visible to all residents.

### **Meeting**

This public meeting is open to the public and will take place in person in the C-Wing Committee Room, Oshawa City Hall, 50 Centre Street South. Members of the public wishing to verbally address the Committee through electronic means rather than appear in-person to make a delegation are required to submit their request to the City Contact shown below by 4:30 p.m. on September 30, 2024.

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**City Contact:** Deb Dutta, Oshawa City Hall, 50 Centre Street South, Oshawa, Ontario L1H 3Z7 or by telephone at 905-436-3311, extension 2376 or by email to [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca).

**How to submit written comments:** Written comments to the Committee must be received no later than 4:30 pm on October 2, 2024. Submissions are accepted by email at [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca) or by mailing the Committee of Adjustment at the address shown above. Please include your name, your address and application number or address of the property you are providing comments on.

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If you wish to be notified of the decision of City of Oshawa in respect of the proposed consent, you must make a written request to City of Oshawa.

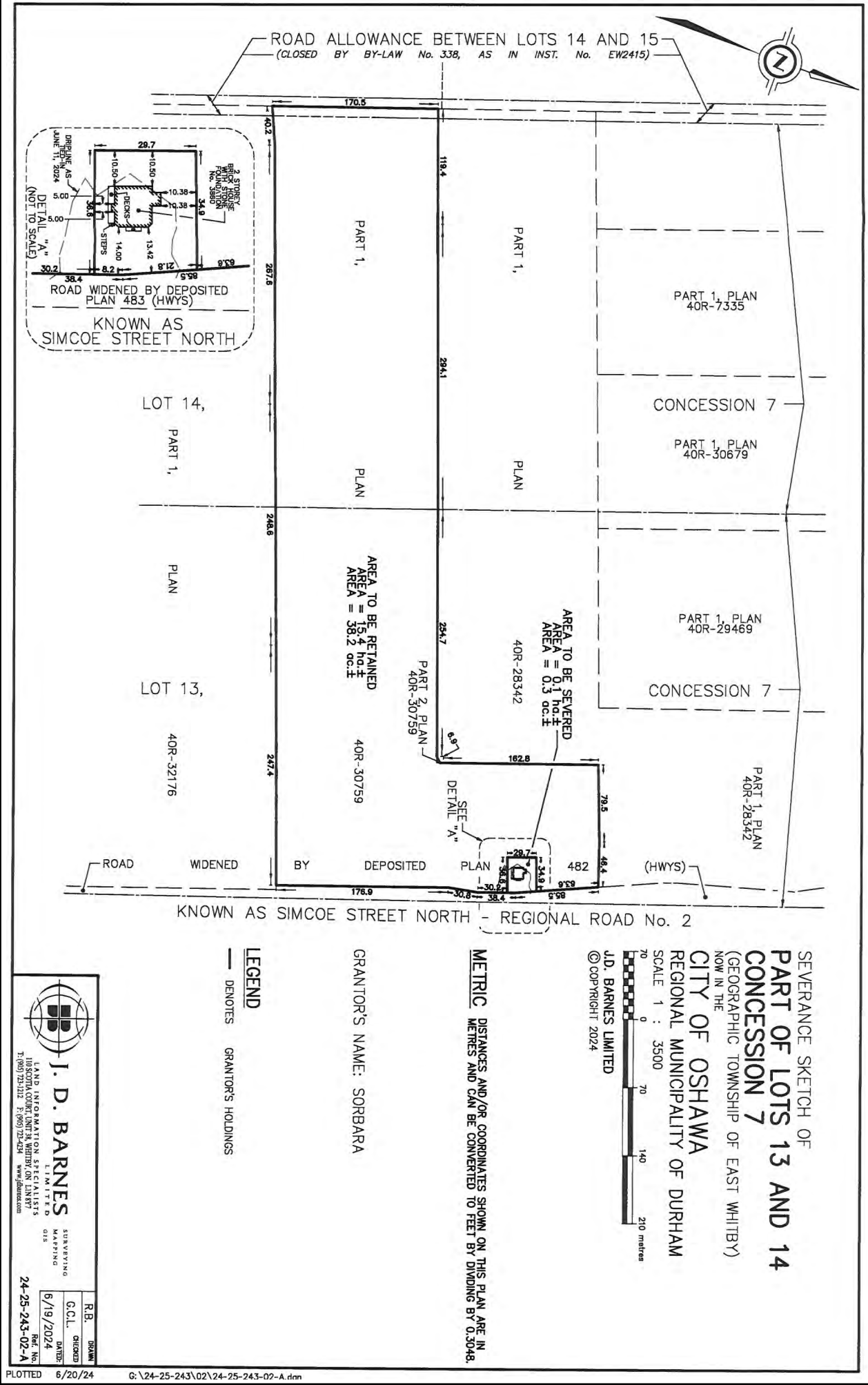
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This Notice issued September 18, 2024.

Address: 3860 Simcoe Street North

Economic and Development Services  
City of Oshawa  
OSHWAWA



SEVERANCE SKETCH OF  
**PART OF LOTS 13 AND 14**  
**CONCESSION 7**  
 (GEOGRAPHIC TOWNSHIP OF EAST WHITBY)  
 NOW IN THE  
**CITY OF OSHWAWA**  
 REGIONAL MUNICIPALITY OF DURHAM  
 SCALE 1 : 3500  
 J.D. BARNES LIMITED  
 © COPYRIGHT 2024

**METRIC**  
 DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

GRANTOR'S NAME: SORBARA

**LEGEND**  
 — DENOTES GRANTOR'S HOLDINGS

**J. D. BARNES**  
 LAND INFORMATION SPECIALISTS  
 SURVEYING  
 110 KING STREET WEST, SUITE 1000  
 TORONTO, ONTARIO M5X 1C4  
 T: (905) 721-3112 F: (905) 721-4254  
 www.jdbarnes.com

R.B.	DRK/M
C.C.L.	CHECKED
6/19/2024	DATE
24-25-243-02-A	PLAT No.



Committee of Adjustment

File: **A-2024-96**

Ward: **1**

## **Notice of Hearing under the Planning Act Concerning an Application for Minor Variances**

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on October 2, 2024 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2024-96**) submitted by **The Biglieri Group on behalf of Daniel Cook** for **0 Columbus Road West** (CON 6 PT LT 13,14 NOW RP 40R-5418 PT 1 PT), Oshawa for minor variances from the City's Zoning By-law 60-94.

**Purpose and Effect:** The purpose and effect of the application is to permit a parcel of land with a minimum lot frontage of 13m, whereas Zoning By-law 60-94 requires a minimum lot frontage of 30m for a parcel of land in a R1-H, R1-H(1), OSH and AG-A (Residential, Hazard Lands Open Space, Agricultural) Zones.

The subject site is also subject to applications for Consent (Files B-2024-38 & B-2024-39).

You have been sent this notice because you own land close to the subject property.

### **Meeting**

This public meeting is open to the public and will take place in person in the C-Wing Committee Room, Oshawa City Hall, 50 Centre Street South. Members of the public wishing to verbally address the Committee through electronic means rather than appear in-person to make a delegation are required to submit their request to the City Contact shown below by 4:30 p.m. on September 30, 2024.

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This Notice issued September 20, 2024.







Committee of Adjustment

Files: **B-2024-38 & B-2024-39**

Ward: 1

## **Notice of Hearing under the Planning Act Concerning an Application for Consent**

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on October 2, 2024 at 6:00 p.m. to consider the Committee of Adjustment Applications (Files **B-2024-38 & B-2024-39**) submitted by **The Biglieri Group on behalf of Daniel and Ellen Cook** for **105 Columbus Road West** (CON 6 PT LT 13, NOW RP 40R-13562 PT PT 3), Oshawa for consent.

### **Purpose and Effect:**

**B-2024-38:** The purpose and effect of the application is to sever a 0.18 hectare residential parcel of land and add it to the lands to the south (0 Columbus Road West), retaining a 1.32 hectare parcel with an existing single detached dwelling.

**B-2024-39:** The purpose and effect of the application is to sever a 3.05 hectare parcel of land and add it to the lands to the west (105 Columbus Road West), retaining a 2.39 hectare parcel of land.

The subject site is also subject to an application for Minor Variance (File: A-2024-96).

You have been sent this notice because you own land close to the subject property.

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